

**CITY OF PRINCETON**

**ORDINANCE NO. 2022-05-09-01**

**AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM “AG” AGRICULTURAL TO “PD 28” PLANNED DEVELOPMENT 28, ON A PORTION OF THE JOHN RUSSELL SURVEY, ABSTRACT NO. 743, THE DAVID CHERRY SURVEY, ABSTRACT NO. 166, RUFUS SEWELL SURVEY, ABSTRACT NO. 873, AND THE THOMAS A. RHODES SURVEY, ABSTRACT NO. 741; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the owner of the property generally described as 501.84 acres of land situated in the John Russell Survey, Abstract No. 743, David Cherry Survey, Abstract No. 166, Rufus Sewell Survey, Abstract No. 873, and the Thomas A. Rhodes Survey, Abstract No. 741, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

**WHEREAS,** the tract of land subject of this zoning amendment from “AG” Agricultural to “PD 28” Planned Development 28, is more particularly described by metes and bounds description set forth in Exhibit B; and

**WHEREAS,** the Planning and Zoning Commission held a public hearing, heard the case on April 18, 2022 and recommended approval of the zoning amendment from “AG” Agricultural to “PD 28” Planned Development 28 on April 18, 2022 and

**WHEREAS,** the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “AG” Agricultural to “PD 28” Planned Development 28 on May 9, 2022 and

**WHEREAS,** the property subject of Planned Development No. 28, shall be subject to specific Development Regulations and Concept Plan, attached hereto as Exhibit C; and

**WHEREAS,** all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:**

**Section 1.** That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

**Section 2.** The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of

the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from "AG" Agricultural to "PD 28" Planned Development 28.

**Section 3.** That Planned Development No. 28 shall be subject to the Development Regulations and Concept Plan attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.

**Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

**Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.

**Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 9 day of May, 2022.



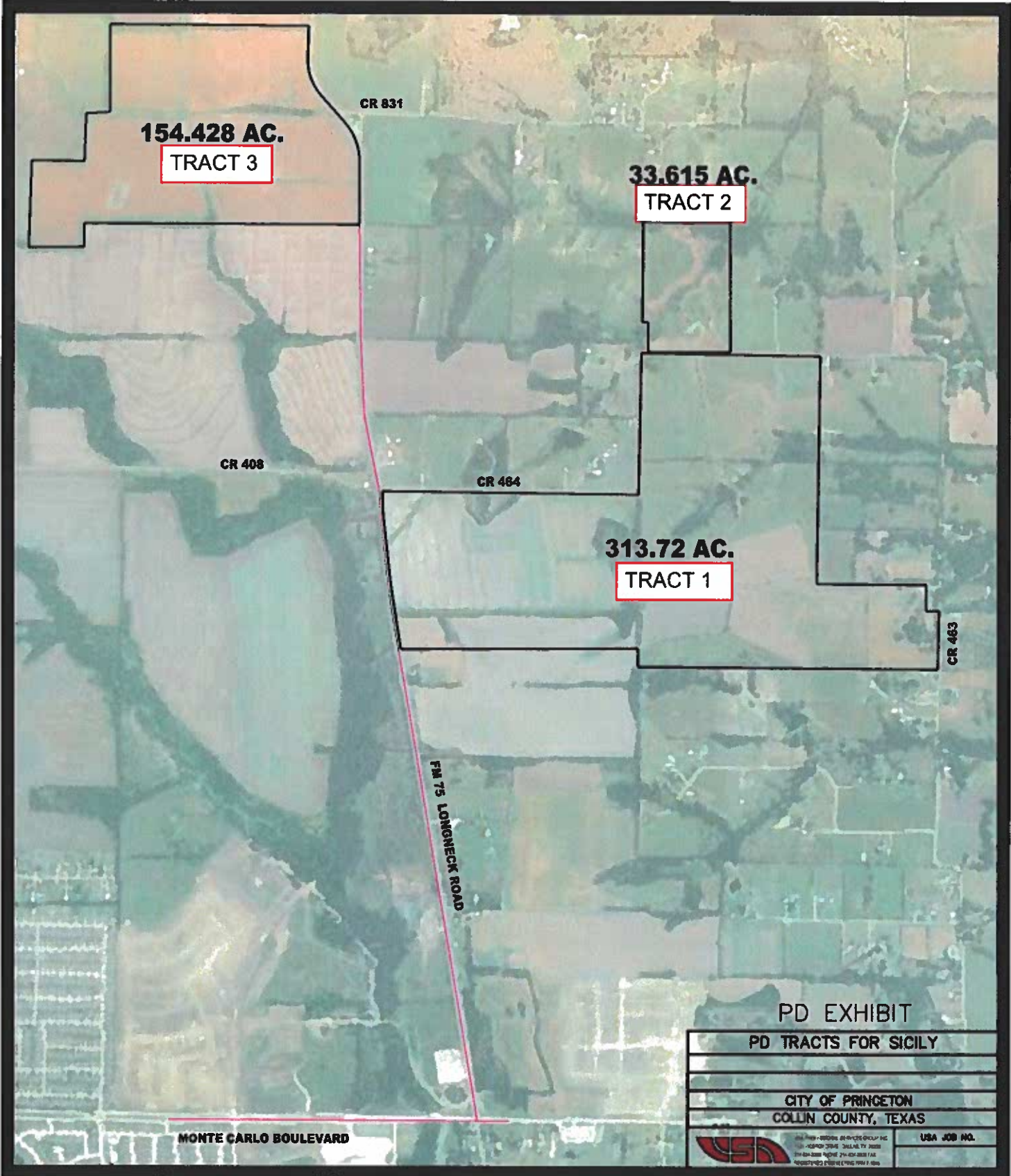
*Brianna Chacón*

Brianna Chacón, Mayor  
City of Princeton, Texas

ATTEST:

*Amber Anderson*

Amber Anderson, City Secretary  
City of Princeton, Texas



**LEGAL DESCRIPTION**

**313.72 ACRES**

Being a 313.72 acre tract of land situated in the John Russell Survey, Abstract No. 743, and the David Cherry Survey, Abstract No. 166, Collin County, Texas, being part of a 314.088 acre tract as conveyed to Sicily Laguna Azure LLC, and recorded in Instrument No. 20211015002108560 of the Official Public Records, Collin County, Texas, said 313.72 acre tract being more particularly described as follows:

**BEGINNING** at a 1/2 inch iron rod (control monument) found in the east right-of-way line of Farm-to-Market Road No. 75 (a variable width right-of-way) for the northwest corner of said Sicily Laguna Azure tract, said point being the southwest corner of a 5.284 acre tract of land conveyed to Dustin J. and Leslie N. Bewley, as recorded in Instrument No. 20141125001290060 of said Official Public Records, Collin County, Texas, and being in the center of County Road 464 (an undedicated right-of-way);

**THENCE** South 89 degrees 12 minutes 18 seconds East, along the north line of said Sicily Laguna Azure tract, the south line of said Bewley tract and with the center of said County Road 464, a distance of 2,932.50 feet to a point for an ell corner of said Sicily Laguna Azure tract, said point being the southeast corner of a 14.25 acre tract conveyed to Douglas and Ann-Le Redden, as recorded in Instrument No. 20190828001052810 of said Official Public Records, Collin County, Texas, said point also being in a curve of said County Road 464;

**THENCE** North 01 degrees 09 minutes 08 seconds East, along the west line of said Sicily Laguna Azure tract, the east line of said Redden tract and the east line of said County Road 464, a distance of 1,457.48 feet to a point for the most westerly northwest corner of said Sicily Laguna Azure tract and the southwest corner of a 1.0 acre tract conveyed to Princeton ISD, from which a 5/8 inch iron rod with cap stamped "RPLS 5682" (control monument) found for the northwest corner of said Princeton ISD tract bears North 01 degree 10 minutes 23 seconds, 165.00 feet;

**THENCE** South 89 degrees 00 minutes 57 seconds East, along a north line of said Sicily Laguna Azure tract and the south line of said Princeton ISD tract, a distance of 263.97 feet to a point for an interior ell corner of said Sicily Laguna Azure tract and the southeast corner of said Princeton ISD tract;

**THENCE** North 01 degrees 09 minutes 52 seconds East, along the west line of said Sicily Laguna Azure tract and the east line of said Princeton ISD tract, a distance of 164.99 feet to a point for the most northerly northwest corner of said Sicily Laguna Azure tract and the northeast corner of said Princeton ISD tract, said point being in the south line of a 14.612 acre tract conveyed to Justin Douglas, as recorded in Instrument No. 20150623000754670 of said Official Public Records, Collin County, Texas, said point also being in County Road 464;

**THENCE** South 89 degrees 00 minute 57 seconds East, along the north line of said Sicily Laguna Azure tract, the south line of said Douglas tract and along said County Road 464, a distance of 1,772.54 feet to a point for the northeast corner of said Sicily Laguna Azure tract and the northwest corner of a 40.1110 acre remainder tract conveyed to Kevin Whitsell and Joann Whitsell,, Trustees of the Whitsell Living Trust, as recorded in Instrument No. 20190613000682400, of said Official Public Records, Collin County, Texas, said point being in the south line of a 50.00 acre tract conveyed to James Cave and Carolyn Skinner, as recorded in Instrument No. 20190613000682400 of said Official Public Records, Collin County, Texas;

**THENCE** South 00 degree 52 minutes 08 seconds West, along the east line of said Sicily Laguna Azure tract and the west line of said Whitsell Living Trust tract, a distance of 1,231.69 feet to a point for the southwest corner of said Whitsell Living Trust tract, said point being the northwest corner of a 24.402 acre tract conveyed to John and Pat Jackson, as recorded in Volume 4406, Page 747 of said Deed Records, Collin County, Texas:

**THENCE** South 00 degree 44 minutes 08 seconds West, continuing along the east line of said Sicily Laguna Azure tract and the west line of said Jackson tract, a distance of 1,386.07 feet to a point for an ell corner of said Sicily Laguna Azure tract and the southwest corner of a 19.839 acre tract conveyed to Tina L. Ostrander and Bradley A. Ostrander, as recorded in Volume 5327, Page 4375 of said Deed Records, Collin County, Texas:

**THENCE** South 89 degrees 11 minutes 03 seconds East, along the north line of said Sicily Laguna Azure tract and the south line of said Ostrander tract, a distance of 1,251.91 feet to a point for an ell corner of said Sicily Laguna Azure tract and the northwest corner of a 0.534 acre tract conveyed to James B. Whitsell and wife, Kim Whitsell, as recorded in Volume 1223, Page 347 of said Deed Records, Collin County, Texas:

**THENCE** South 00 degrees 48 minutes 57 seconds West, along the east line of said Sicily Laguna Azure tract and the west line of said Whitsell tract, a distance of 300.00 feet to a point for an interior ell corner of said Sicily Laguna Azure tract and the southwest corner of a remainder of a 1.00 acre tract conveyed to Albert A. Ruschhaupt and wife, Geraldine Ruschhaupt, as recorded in Volume 956, Page 10 of said Deed Records, Collin County, Texas:

**THENCE** South 89 degrees 11 minutes 03 seconds East, along the north line of said Sicily Laguna Azure tract and the south line of said Ruschhaupt tract, a distance of 145.00 feet to a point for an ell corner of said Sicily Laguna Azure tract and the southeast corner of said Ruschhaupt tract, said point being in the west line of a 1.502 acre tract conveyed to Andy G. Gilbert as recorded in Instrument No. 20090420000448820 of said Official Public Records, Collin County, Texas, said point also being in the center of County Road 463 (an undedicated right-of-way):

**THENCE** South 00 degrees 48 minutes 57 seconds West, along the east line of said Sicily Laguna Azure tract, the west line of said Gilbert tract and the center of said County Road 463, a distance of 660.15 feet to a point for the southeast corner of said Sicily Laguna Azure tract and the northeast corner of a 1.0 acre tract conveyed to Jessica D. and Jason E. Milligan as recorded in Instrument No. 20140729000792700 of said Official Public Records, Collin County, Texas, said point also being the southwest corner of a 1.00 acre tract conveyed to Luis Sander Cabrera and Jocelyn Tamayo as recorded in Instrument No. 20181016001290980 of said Official Public Records, Collin County, Texas and the northwest corner of a 5.75 acre tract conveyed to Todd Mitchel Goodman as recorded in Instrument 20170530000690650 of said Official Public Records, Collin County, Texas, from which a 5/8 inch iron rod with cap found bears, South 27 degrees 28 minutes 41 seconds West, a distance of 3.60 feet;

**THENCE** North 89 degrees 27 minutes 41 seconds West, along the south line of said Sicily Laguna Azure tract and the north line of said Milligan tract, a distance of 1,395.19 feet to a point for the northwest corner of Lot 1, Block A, J. Davis Addition, an addition to Collin County, Texas, as recorded in Instrument No. 20191001010004210, said point being the northeast corner of a 20.5760 acre tract conveyed to Michael Chad Dalebout and Ladonna Flygare as recorded in Instrument 20160222000196080 of said Official Public Records, Collin County, Texas;

**THENCE** North 89 degrees 16 minutes 25 seconds West, continuing along the south line of said Sicily Laguna Azure tract and the north line of said Dalebout tract, a distance of 2,024.65 feet to a point for an ell corner of said Sicily Laguna Azure tract and the northwest corner of an 18.304 acre tract conveyed to Richard Eric Courts and Cynthia Carole Courts as recorded in Instrument 20160212000168630 of said Official Public Records, Collin County, Texas, said point being in the east line of a 24.57 acre tract conveyed to Balu Mahi Investments, LLC as recorded in Instrument No. 20161117001562600 of said Official Public Records, Collin County, Texas;

**THENCE** North 00 degree 49 minutes 47 seconds West, along a west line of said Sicily Laguna Azure tract and the east line of said Balu Mahi tract, a distance of 201.42 feet to a 5/8 inch iron rod (control monument) found for an ell corner of said Sicily Laguna Azure tract and the northeast corner of said Balu Mahi tract;

**THENCE** North 89 degrees 57 minutes 26 seconds West, along the south line of said Sicily Laguna Azure tract and the north line of said Balu Mahi tract, a distance of 2,713.76 feet to a 5/8 inch iron rod (control monument) found for the southwest corner of said Sicily Laguna Azure tract and the northwest corner of said Balu Mahi tract, said 5/8 inch iron rod being in the east right-of-way line of said Farm-to-Market Road No. 75;

**THENCE** North 09 degrees 59 minutes 51 seconds West, along the east right-of-way line of said Farm-to-Market Road No. 75 and the west line of said Sicily Laguna Azure tract, a distance of 349.12 feet to a point for corner;

**THENCE** North 09 degrees 50 minutes 51 seconds West, continuing along the east right-of-way line of said Farm-to-Market Road No. 75 and the west line of said Sicily Laguna Azure tract, a distance of 23.01 feet to a point for corner, said point being the beginning of a non-tangent curve to the right, having a radius of 5,684.58 feet, a central angle of 03 degrees 46 minutes 08 seconds, whose chord bears North 08 degrees 09 minutes 31 seconds West, a chord distance of 373.86 feet;

**THENCE** in a northwesterly direction, continuing along the east right-of-way line of said Farm-to-Market Road No. 75, the west line of said Sicily Laguna Azure tract and said non-tangent curve to the right, an arc distance of 373.93 feet to a point for corner;

**THENCE** North 06 degrees 00 minutes 44 seconds West, continuing along the east right-of-way line of said Farm-to-Market Road No. 75 and the west line of said Sicily Laguna Azure tract, a distance of 801.77 feet to a point for corner at the beginning of a curve to the left, having a radius of 5,774.58 feet, a central angle of 01 degrees 07 minutes 55 seconds, whose chord bears North 06 degrees 34 minutes 41 seconds West, a chord distance of 114.09 feet;

**THENCE** in a northwesterly direction, continuing along the east right-of-way line of said Farm-to-Market Road No. 75, the west line of said Sicily Laguna Azure tract and said curve to the left, an arc distance of 114.09 feet to a point for corner;

**THENCE** North 09 degrees 13 minutes 19 seconds West, continuing along the east right-of-way line of said Farm-to-Market Road No. 75 and the west line of said Sicily Laguna Azure tract, a distance of 114.19 feet to a point for corner;

EXHIBIT B

TRACT 1

**THENCE** North 08 degrees 52 minutes 32 seconds West, continuing along the east right-of-way line of said Farm-to-Market Road No. 75 and the west line of said Sicily Laguna Azure tract, a distance of 19.47 feet to the **POINT OF BEGINNING**, and containing 13,665,608 square feet or 313.72 acres of land more or less.

**LEGAL DESCRIPTION**

**SICILY NORTH**

**33.615 ACRES**

Being a 33.615 acre tract of land situated in the John Russell Survey, Abstract No. 743, Collin County, Texas, being all of that 15.000 acre tract of land conveyed to Sicily Laguna Azure, LLC, as recorded in Instrument No. 20210910001842580, Official Public Records, Collin County, Texas, and all of that 18.616 acre tract of land conveyed to Sicily Laguna Azure, LLC, as recorded in Instrument No. 20210910001842570, Official Public Records, Collin County, Texas, said 33.631 acre tract being more particularly described as follows:

**BEGINNING** at a point for the southwest corner of said 15.000 acre tract and the southeast corner of a 0.543 acre tract as conveyed to Tascom Investments, LLC, as recorded in Instrument No. 20180430000522420 of said Official Public Records, Collin County, Texas, said point being in the north line of a 1.00 acre tract conveyed to Princeton ISD as recorded in Volume 93, Page 339 of the Deed Records, Collin county, Texas, said point also being in the center of County Road No. 464 (an undedicated right-of-way);

**THENCE** North 00 degrees 08 minutes 54 seconds East, along the west line of said 15.000 acre tract and the east line of said 0.543 acre tract, a distance of 340.17 feet to a 1/2 inch iron rod found for an ell corner of said 15.000 acre tract and the northeast corner of said 0.543 acre tract;

**THENCE** South 89 degrees 10 minutes 50 seconds West, along the easterly line of said 15.000 acre tract and the north line of said 0.543 acre tract, a distance of 69.38 feet to a 5/8 inch iron rod found for an ell corner of said 15.000 acre tract and the northwest corner of said 0.543 acre tract, said point being in the east line of a 46.083 acre tract conveyed to said Tascom Investments, LLC;

**THENCE** North 00 degrees 24 minutes 16 seconds East, along the west line of said 15.000 acre tract and the east line of said 46.083 acre tract, a distance of 1,141.52 feet to a point for the northwest corner of said 15.000 acre tract and the southwest corner of an 8.080 acre tract as conveyed to John E. and Louann S. Stroup, as recorded in Instrument No. 20160728000972550 of said Official Public Records, Collin County, Texas, said point being in the east line of a 10.00 acre tract as conveyed to said Tascom Investments, LLC;

**THENCE** South 89 degrees 47 minutes 04 seconds East, along the north line of said 15.000 acre tract and the south line of said 8.080 acre tract, a distance of 450.93 feet to a point for the northeast corner of said 15.000 acre tract and the southeast corner of said 8.080 acre tract, said point being in the west line of a 16.207 acre tract conveyed to John E. and Louann S. Stroup, as recorded in Instrument No. 20160728000972530 of said Official Public Records, Collin County, Texas;

**THENCE** South 00 degrees 07 minutes 48 seconds East, along the east line of said 15.000 acre tract and the west line of said 16.207 acre tract, a distance of 3.86 feet to a point for the southwest corner of said 16.207 acre tract and the northwest corner of said 18.616 acre tract;



**THENCE** North 89 degrees 40 minutes 57 seconds East, along the north line of said 18.616 acre tract and the south line of said 16.207 acre tract, a distance of 549.16 feet to a point for the northeast corner of said 18.616 acre tract and the northwest corner of a 17.010 acre tract as conveyed to Adamson Revocable Trust as recorded in Instrument No. 20201123002089220 of said Official Public Records, Collin County, Texas;

**THENCE** South 00 degrees 08 minutes 31 seconds East, along the east line of said 18.616 acre tract and the west line of said 17.010 acre tract, a distance of 1,478.72 feet to a point for the southeast corner of said 18.616 acre tract and the southwest corner of said 17.010 acre tract, said point being in said County Road No. 464;

**THENCE** North 89 degrees 47 minutes 08 seconds West, along the south line of said 18.616 acre tract and with said County Road No. 464, a distance of 549.47 feet to a point for the southwest corner of said 18.616 acre tract and the southeast corner of said 15.000 acre tract;

**THENCE** South 89 degrees 46 minutes 56 seconds West, continuing along the south line of said 15.000 acre tract and with said County Road No. 464, a distance of 393.85 feet to the **POINT OF BEGINNING**, and containing 1,464,267 square feet or 33.615 acres of land more or less.

**LEGAL DESCRIPTION****SICILY NORTH****154.50 ACRES**

Being a 154.50 acre tract of land situated in the Rufus Sewell Survey, Abstract No. 873, and the Thomas A. Rhodes Survey, Abstract No. 741, Collin County, Texas, and being all of that 154.50 acre tract of land as conveyed to Sicily Laguna Azure LLC, as recorded in Instrument No. 20210927001966930, Official Public Records, Collin County, Texas, said 154.50 acre tract being more particularly described as follows:

**BEGINNING** at a 1/2 inch iron rod (control monument) found in the west right-of-way line of Farm-to-Market Road No. 75 (a variable width right-of-way) for the southeast corner of said 154.50 acre tract, said point being the northeast corner of a 106.86 acre tract of land conveyed to Meritage Homes of Texas and Grbk Edgewood, LLC, as recorded in Instrument No. 20210015002276710 of said Official Public Records, Collin County, Texas;

**THENCE** South 89 degrees 39 minutes 10 seconds West, along the south line of said 154.50 acre tract and the north line of said 106.86 acre tract, a distance of 3,110.83 feet to a point for an ell corner of said 154.50 acre tract and said 106.86 acre tract;

**THENCE** South 00 degrees 10 minutes 06 seconds West, continuing along the south line of said 154.50 acre tract and the north line of said 106.86 acre tract, a distance of 305.99 feet to a point for an ell corner of said 154.50 acre tract and said 106.86 acre tract;

**THENCE** North 88 degrees 34 minutes 39 seconds West, continuing along the south line of said 154.50 acre tract and the north line of said 106.86 acre tract, a distance of 612.36 feet to 5/8 inch iron rod found for the southwest corner of said 154.50 acre tract and an ell corner of a 15.155 acre tract as conveyed to Meritage Homes of Texas and Grbk Edgewood, LLC, as recorded in Instrument No. 20210015002276710 of said Official Public Records, Collin County, Texas;

**THENCE** North 00 degrees 27 minutes 05 seconds East, along the west line of said 154.50 acre tract and an east line of said 15.155 acre tract, a distance of 988.61 feet to a 1/2 inch iron rod found for an ell corner of said 154.50 acre tract, said point being an ell corner of a 106.47 acre tract as conveyed to Grbk Edgewood, LLC, as recorded in Instrument No. 20211209002492190 of said Official Public Records, Collin County, Texas;

**THENCE** South 89 degrees 28 minutes 36 seconds East, along the westerly line of said 154.50 acre tract and an the easterly line of said 106.47 acre tract, a distance of 606.19 feet to a 1/2 inch iron found for an ell corner of said 154.50 acre tract and said 106.47 acre tract;

**THENCE** North 00 degrees 11 minutes 27 seconds East, continuing along the westerly line of said 154.50 acre tract and an the easterly line of said 106.55 acre tract, a distance of 611.67 feet to a 1/2 inch iron found for an ell corner of said 154.50 acre tract and an ell corner of said 106.47 acre tract;

**THENCE** South 89 degrees 46 minutes 37 seconds East, continuing along the westerly line of said 154.50 acre tract and an the easterly line of said 106.47 acre tract, a distance of 263.67 feet to a 1/2 inch iron found for an ell corner of said 154.50 acre tract and an ell corner of said 106.47 acre tract;

**THENCE** North 01 degrees 29 minutes 51 seconds East, continuing along the westerly line of said 154.50 acre tract and an the easterly line of said 106.47 acre tract, a distance of 932.08 feet to a point for the northwest corner of said 154.50 acre tract, said point being the southwest corner of a 133.275 acre tract as conveyed to to Grbk Edgewood, LLC, as recorded in Instrument No. 20201228002325550 of said Official Public Records, Collin County, Texas;

**THENCE** North 89 degrees 19 minutes 33 seconds East, along the north line of said 154.50 acre tract and the south line of said 133.275 acre tract, a distance of 2,260.58 feet to a point for the northeast corner of said 154.50 acre tract and the southeast corner of said 133.275 acre tract, said point being in the west right-of-way line of said Farm-to-Market Road No. 75;

**THENCE** South 01 degrees 38 minutes 23 seconds West, along the west right-of-way line of said Farm-to-Market Road No. 75 and the east line of said 154.50 acre tract, a distance of 250.74 feet to a point for corner at the beginning of a curve to the left having a radius of 999.94 feet, a central angle of 40 degrees 32 minutes 04 seconds, whose chord bears South 18 degrees 31 minutes 30 seconds East, a chord length of 689.44 feet;

**THENCE** in a Southeasterly direction, continuing along the west right-of-way line of said Farm-to-Market Road No. 75, the east line of said 154.50 acre tract and along said curve to the left, an arc length of 703.88 feet to a point for corner;

**THENCE** South 38 degrees 41 minutes 37 seconds East, continuing along the west right-of-way line of said Farm-to-Market Road No. 75 and the east line of said 154.50acre tract, a distance of 248.32 feet to a point for corner at the beginning of a curve to the right having a radius of 909.94 feet, a central angle of 39 degrees 31 minutes 29 seconds, whose chord bears South 18 degrees 57 minutes 51 seconds East, a chord length of 614.39 feet;

**THENCE** in a Southeasterly direction, continuing along the west right-of-way line of said Farm-to-Market Road No. 75, the east line of said 154.50 acre tract and along said curve to the left, an arc length of 627.71 feet to a point for corner;

**THENCE** South 00 degrees 46 minutes 17 seconds West, continuing along the west right-of-way line of said Farm-to-Market Road No. 75 and the east line of said 154.428 acre tract, a distance of 547.76 feet to the **POINT OF BEGINNING**, and containing 6,729,987 square feet or 154.50 acres of land more or less.

**Exhibit F  
Development Standards (including Architectural Standards)**

**Development Standards**

<b>Regulation Type</b>	<b>Standard</b>
<b>Lot Area</b> – Residential lots within the Property shall adhere to the following minimum sizes:	
Approximately 40% of the Lots	5,750 Square Feet
Approximately 60% of the Lots	4,600 Square Feet
<b>Lot Width</b> – Residential lots within the property shall adhere to the following minimum widths:	
Approximately 40 % of the Lots measured at the Front Building Setback	50 Feet
Approximately 60 % of the Lots measured at the Front Building Setback	40 Feet
Minimum at the Right of Way on cul-de-sacs, knuckles, eyebrows & curves	35 Feet
<b>Lot Depth - Minimum</b>	100 Feet
<b>Dwelling Size</b> – Minimum measured as air-conditioned square footage:	
50 – Foot Lots	1,600 Square Feet except that no less than 50% of the 50 Foot Lots must be 1,800 Square Feet
40 – Foot Lots	1,400 Square Feet
<b>Lot coverage for Main House Slab - Maximum</b>	55%
<b>Building Height - Maximum</b>	36 Feet
<b>Building Setback - Minimum</b>	
Front Yard	20 Feet
Side Yard – Street side corner lot with no Garage Access	10 Feet
Side Yard – Street side corner with Garage Access	20 Feet
Side Yard – Interior Lots	5 Feet
Rear Yard	10 Feet
Roof Pitch - Minimum	6:12

These Development standards are intended to provide for a medium to higher density single-family residential development within the **Sicily neighborhood**. Except as otherwise provided herein, the rules, regulations and standards applicable within the Single Family Residential District 2 (SF2), as of the effective date of the Development Agreement, shall apply.

(a) Compliance with zoning regulations required. All land, buildings, structures or appurtenances thereon located within the City of Princeton which are hereafter occupied, used, erected, altered, removed, placed, demolished or converted shall be occupied, used, erected, altered, removed, placed, demolished or converted in conformance with this Development Agreement.

(b) Building permits prohibited without plat. No permit for the construction or placement of a building or buildings upon any tract or plot shall be issued unless the plot or tract is part of a plat of record, properly approved by the planning and zoning commission and city council and filed in the plat records of county or counties in which the plot or tract is located. Permits for temporary structures such as trailers for use as marketing centers or construction offices may be issued prior to the approval of filing of any plat.

(c) One main building on a lot or tract. Only one main building for one-family or two-family use with permitted accessory buildings may be located upon a lot or tract. Every dwelling shall face or front upon a public street or approved place other than an alley. Where a lot is used for retail and dwelling purposes, more than one main building may be located upon the lot but only when such buildings conform to all the open space, parking and density requirements applicable to the uses and districts. Whenever two or more main buildings or portions thereof are placed upon a single lot or tract and such buildings will not face upon a public street, the same may be permitted when the site plan for such development is approved by the city council. No parking area, storage area or required open space for one building shall be computed as being open space, yard or area requirements for any other dwelling or other use.

(d) Architectural standards—Single Family Residential.

(1) Architectural design. Compliance with architectural design standards shall not be a condition of site plan approval.

(2) Construction materials. The use of unfinished concrete blocks or unfinished tilt wall panels to meet the masonry requirement is prohibited from use unless they are textured. All exterior finishes must meet the Princeton masonry requirements, in subsection (3).

(3) Masonry requirements – Single Family Residential. All structures shall be constructed with a minimum of 75 percent masonry coverage (excluding the total window area), except as noted in this subsection. All permanent structures shall be compatible in architectural style, including the use of brick, Austin stone, cast stone, stucco, textured tilt

wall construction, or other textured masonry surfaces. The remaining 25 percent of exterior finishing materials shall complement the building design and masonry materials used. Homes with rear elevations backing to a thoroughfare as shown on the Concept Plan shall be required to have 100 percent masonry installed on any walls facing the thoroughfare that are directly aligned with the perimeter foundation brick ledge, see Exhibit F-4. Any rear facing walls that are over a roof line or other architectural enhancement that would require a “brick on wood” or “brick on steel” engineered design to comply are exempt from this requirement. See Exhibit F-4.

(4) Windows. Windows shall be consistent with the design and construction of the building. Total window area shall meet the current International Energy Conservation Code requirements.

(5) Roof design and materials. Sloped, gabled or pitched roofs visible from a public street shall be made of 30-year composite shingles, slate, or pre-finished metal or other quality roofing materials.

(6) Awnings/canopies. The use of decorative awnings/canopies is permitted, provided all awnings are designed to be compatible with the structure on which they are located. Awnings and canopies shall be of a consistent pattern, size, shape, material and shall be consistent with or complementary to construction of the building and approved with site plan approval in nonresidential developments.

(7) Archways. Archways may be used in conjunction with doorways or windows and shall have an architectural style consistent with the basic design.

(8) Exterior lighting. Lighting fixtures shall be of a design complementary to the building illumination shall be compatible with surrounding development.

(9) Utility equipment and gutters. Utility equipment and gutters shall be constructed of quality materials and consistent with the design and color of the primary structure. Utility equipment access will be underground (e.g., telephone, electric cables) in nonresidential and residential developments.

(10) Health standards. All situations involving health regulations (food preparation, related equipment) shall be in accordance to the applicable International Building Code and the Food Establishment Rules set forth by Collin County Health Authority or the city's appointed official.

(11) Trash receptacles. Guidelines for metal and/or commercial/industrial trash receptacle screening:

- a. Refuse enclosures shall be screened from public view on all four sides with an eight-foot solid, opaque screen of either masonry, landscaping treatment or other compatible building or landscape material.
- b. Trash receptacle areas should not be placed in an area along a public street. Such areas should be located to allow for convenient access by refuse vehicles.
- c. When located in a highly visible area, trash receptacle screening walls should be softened with landscaping.
- d. Screening doors on the enclosure should be finished with a high quality material and durable finish and shall be consistent with or complementary to construction of the building.

(12) Sign design. The design of a sign shall complement the architectural design of the nonresidential building, and shall be included in the color rendering required in subsection (e). The design and placement shall follow the City of Princeton Sign Ordinance, except as set forth in this Agreement.

(13) Procedure for determining alternative exterior materials and design.

- a. Exceptions to the material requirements may be permitted on a case-by-case basis. All requests for alternative exterior building materials and architectural design shall be noted and described on a site plan with elevation drawings to be submitted to the planning and zoning commission for recommendation to the city council for final approval.
- b. The planning and zoning commission and city council may approve an alternative exterior material if it is determined it is equivalent or better than masonry according to the criteria listed in subsection (e), masonry requirements.
- c. Consideration for exceptions to the above requirements shall be based only on the following:

- 1. Architectural design and creativity.
- 2. Compatibility with surrounding developed properties.

(14) Residential repetition of elevation and floor plan. Unless otherwise approved by the zoning administrator, the following residential design standards shall be followed:

- a. A minimum of three platted residential lots must be skipped on the same side and two lots must be skipped on the opposite side of a street before rebuilding

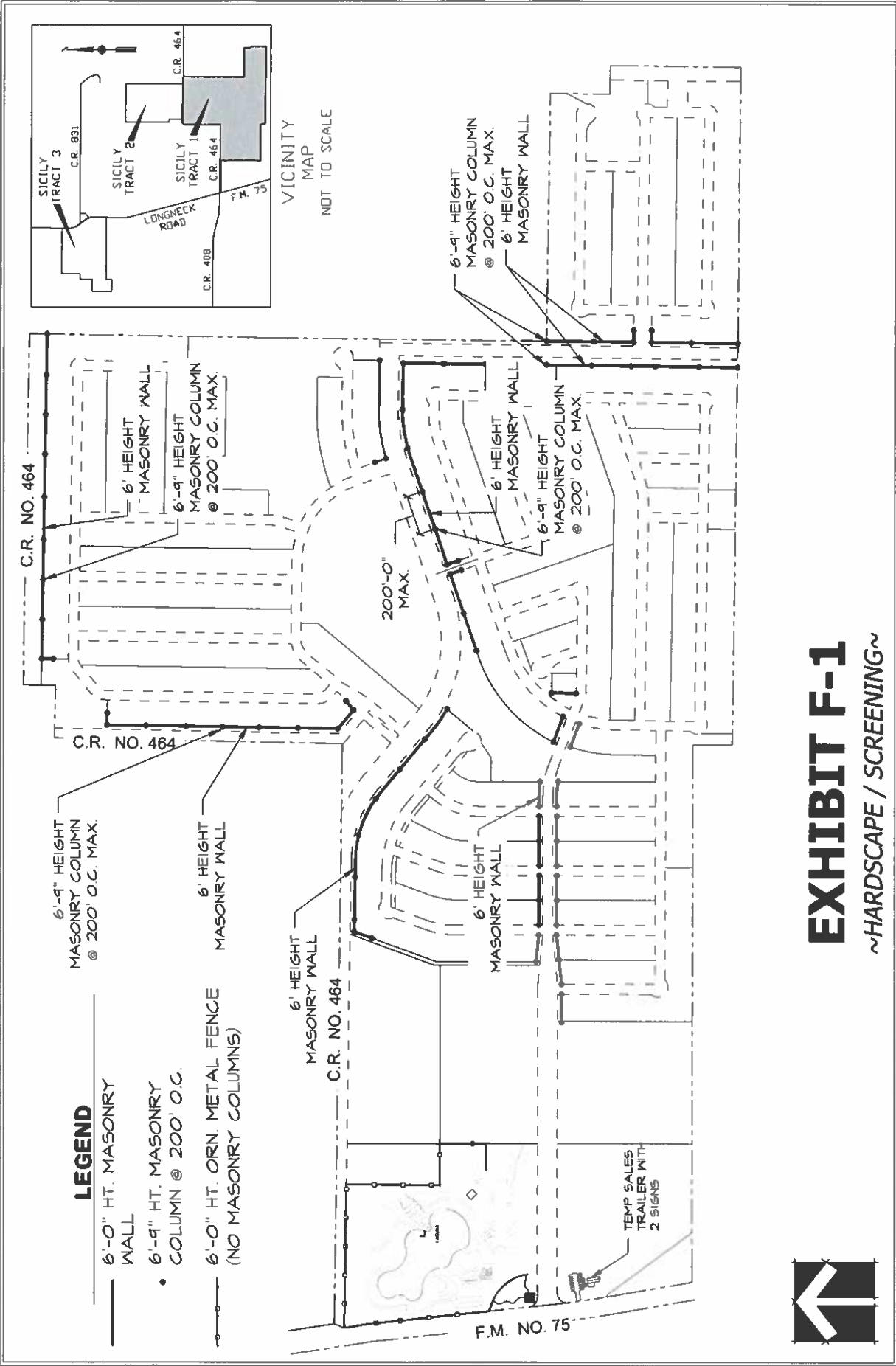
the same single family residential unit with an identical (or nearly identical) street elevation design.

b. The identical (or nearly identical) floor plan shall not be repeated on neighboring, side by side lots.

(15) Subdivision lighting shall be LED.

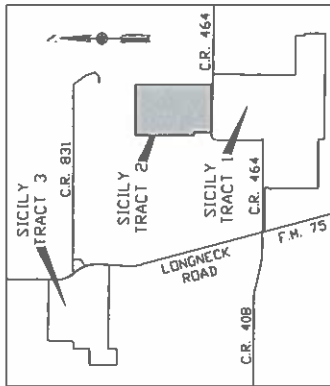
(e) Architectural Standards – Multifamily and Laguna-Associated Buildings. Laguna-associated buildings, such as the restaurant, shall be constructed as depicted in Exhibit F-5. Multifamily structures shall be constructed as depicted in Exhibit F-6.



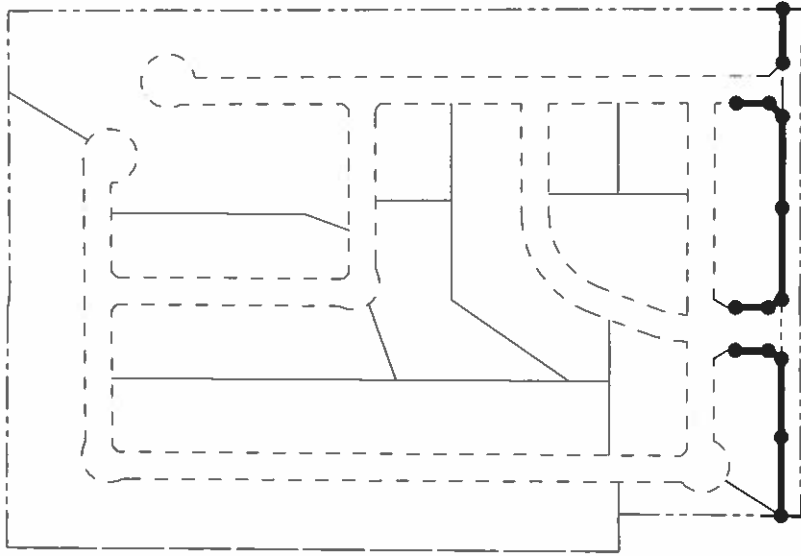


**EXHIBIT F-1**  
~HARDSCAPE / SCREENING~





VICINITY  
MAP  
NOT TO SCALE



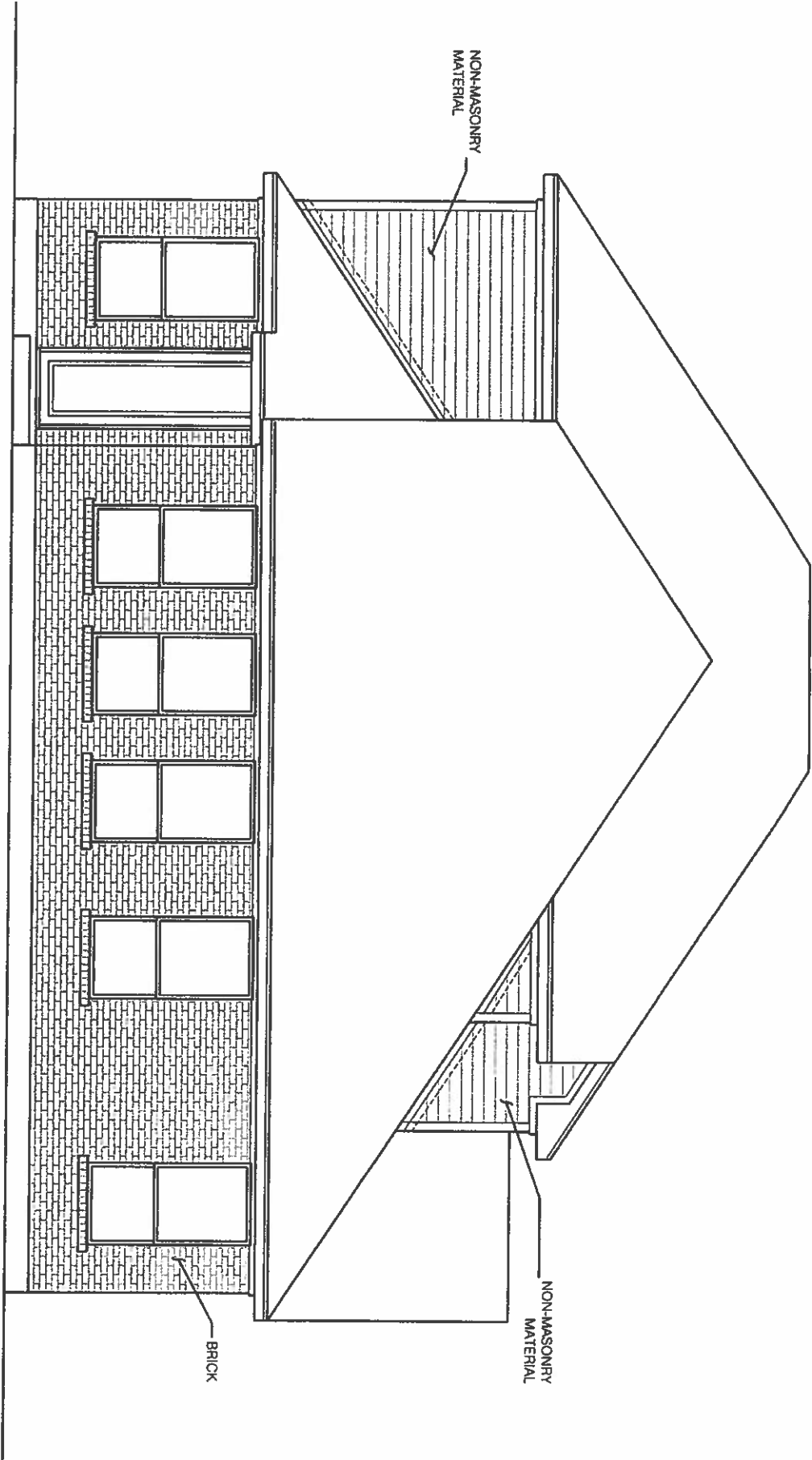
**LEGEND**

- 6'-0" HT. MASONRY WALL
- 6'-9" HT. MASONRY COLUMN
- 6'-0" HT. ORN. METAL FENCE (NO MASONRY COLUMNS)

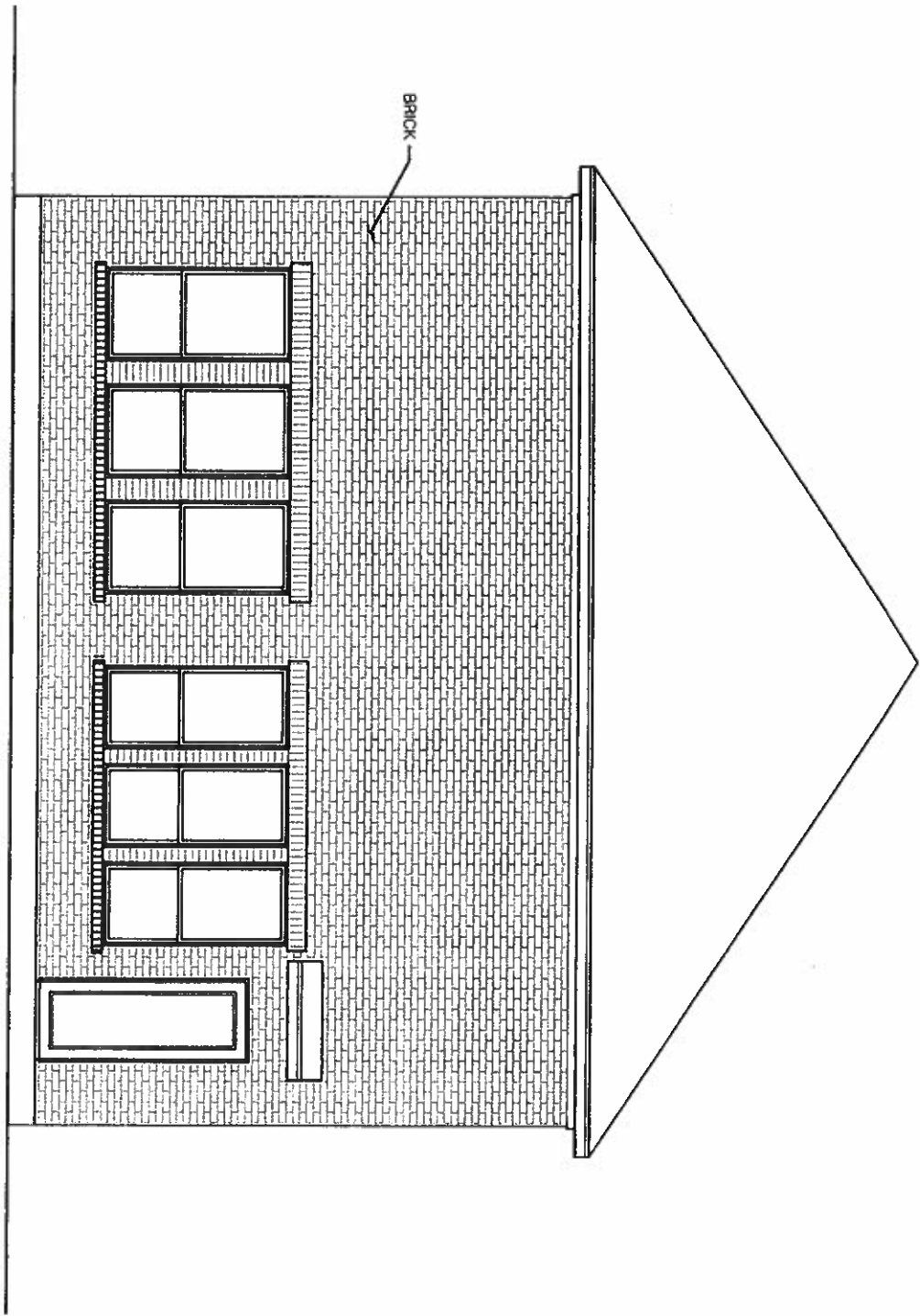


**EXHIBIT F-2**  
~HARDSCAPE / SCREENING~



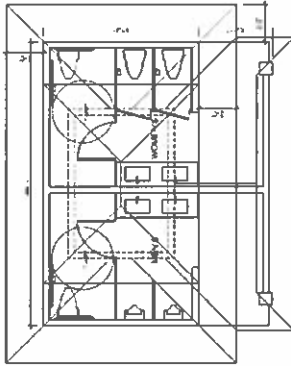


REAR ELEVATION

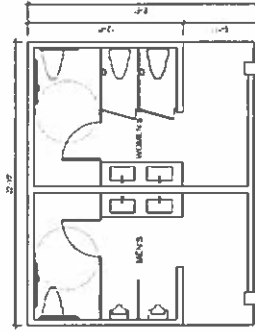


REAR ELEVATION

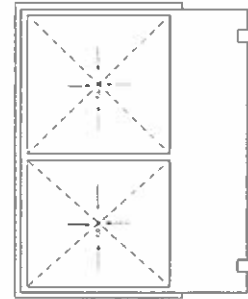
Exhibit F-5 (Restroom)



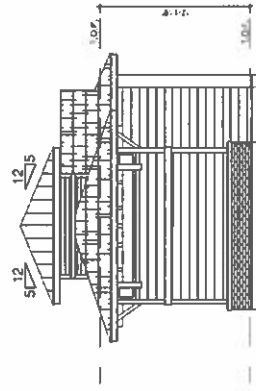
3 ROOF PLAN  
SCALE 1/4" = 1'-0"



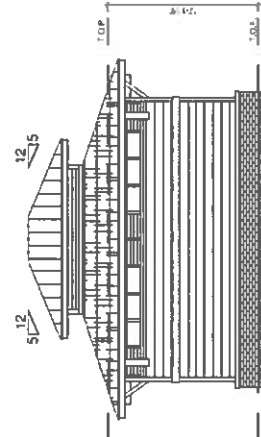
2 POOL EQUIPMENT RESTROOM BUILDING PLAN  
SCALE 1/4" = 1'-0"



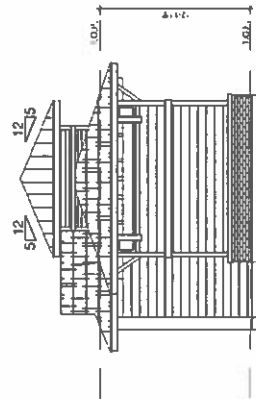
1 POOL EQUIPMENT RESTROOM FORMING PLAN  
SCALE 1/4" = 1'-0"



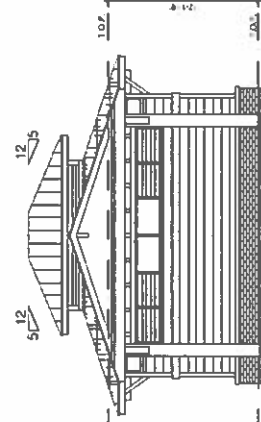
5 SIDE ELEVATION  
SCALE 1/4" = 1'-0"



4 REAR ELEVATION  
SCALE 1/4" = 1'-0"



7 SIDE ELEVATION  
SCALE 1/4" = 1'-0"



6 FRONT ELEVATION  
SCALE 1/4" = 1'-0"

Exhibit F-5 (Kiosk & Restroom)

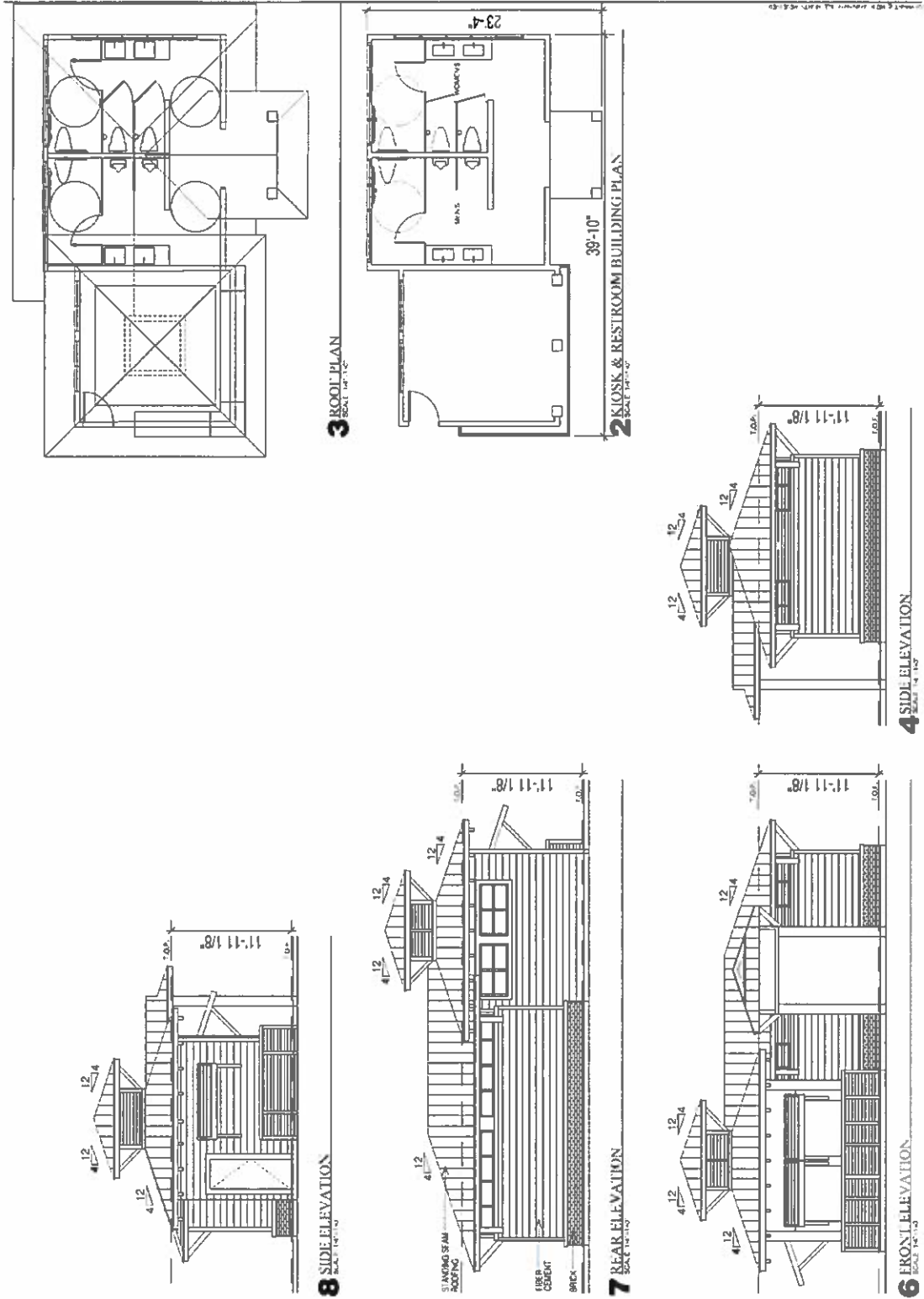


Exhibit F-5 (Storage)

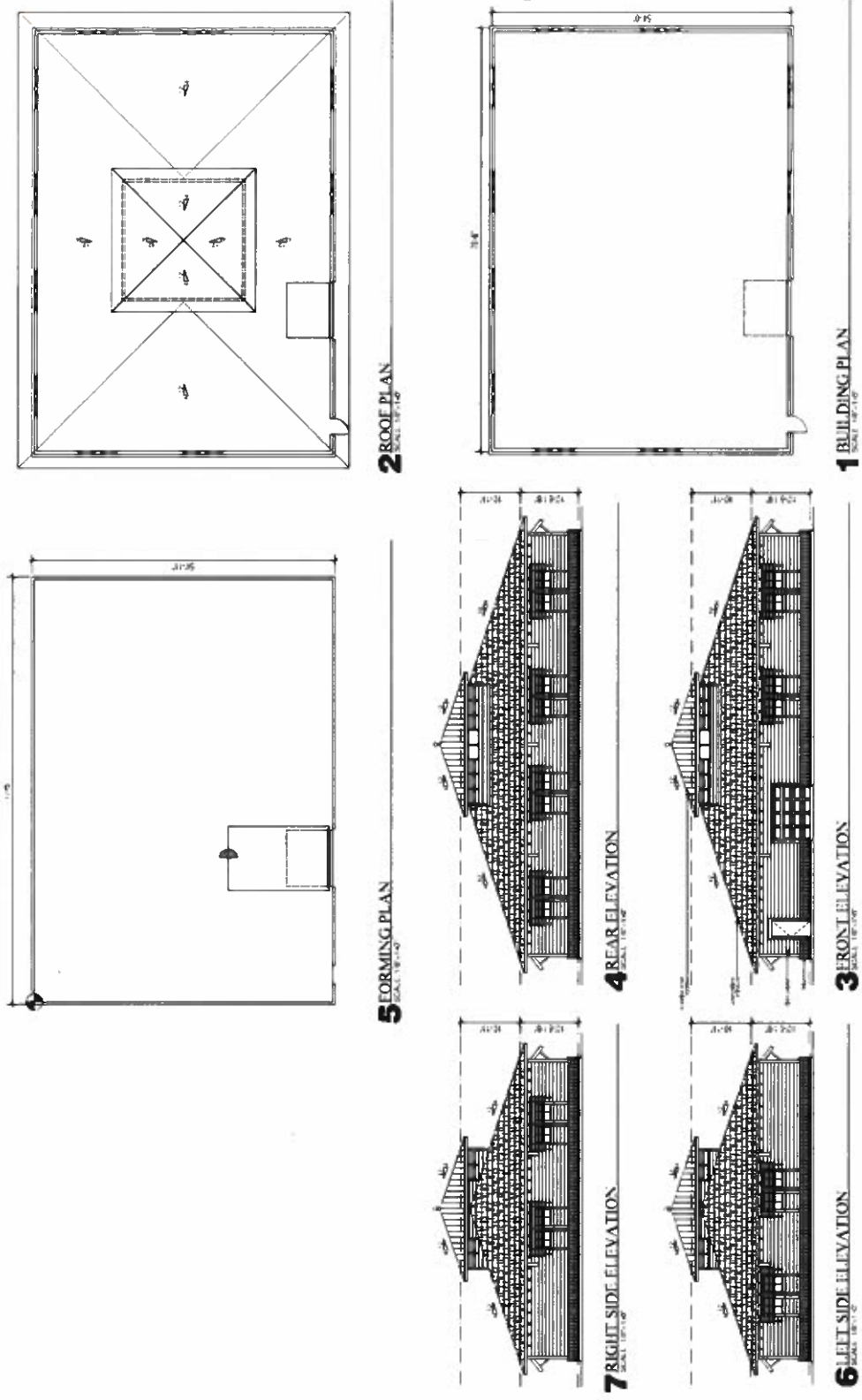
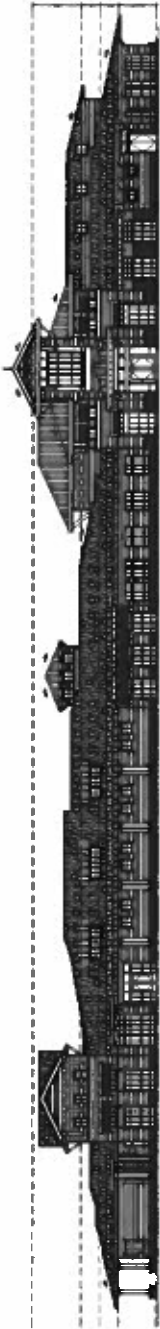
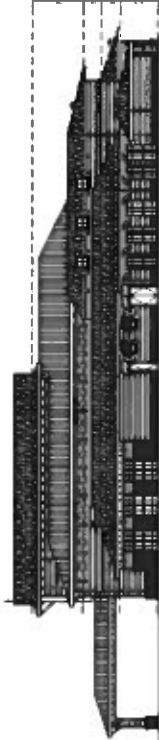




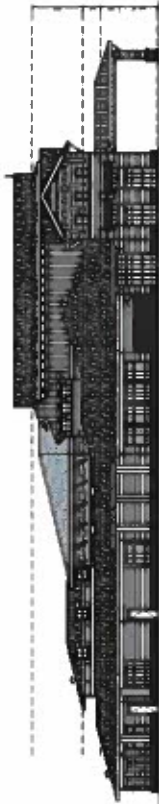
Exhibit F-5 (Overall)



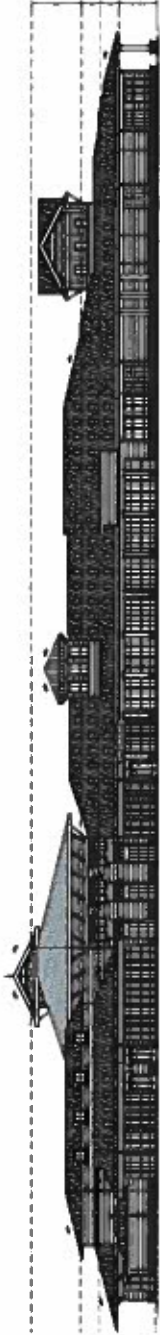
1 AMENITY ELEVATION  
SCALE: 1/8" = 1'-0"



3 AMENITY ELEVATION  
SCALE: 1/8" = 1'-0"



2 AMENITY ELEVATION  
SCALE: 1/8" = 1'-0"



4 AMENITY ELEVATION  
SCALE: 1/8" = 1'-0"

Exhibit F-6

