

CITY OF PRINCETON

ORDINANCE NO. 2022-05-09

AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM “AG” AGRICULTURAL TO “PD 29” PLANNED DEVELOPMENT 29, ON A PORTION OF THE DAVID CHERRY SURVEY, ABSTRACT NO. 166; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the owner of the property generally described as 23.33 acres of land situated in the David Cherry Survey, Abstract No. 166, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

WHEREAS, the tract of land subject of this zoning amendment from “AG” Agricultural to “PD 29” Planned Development 29, is more particularly described by metes and bounds description set forth in Exhibit B; and

WHEREAS, the Planning and Zoning Commission held a public hearing, heard the case on April 18, 2022 and recommended approval of the zoning amendment from “AG” Agricultural to “PD 29” Planned Development 29 on April 18, 2022 and

WHEREAS, the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “AG” Agricultural to “PD 29” Planned Development 29 on May 9, 2022 and

WHEREAS, the property subject of Planned Development No. 29, shall be subject to specific Development Regulations and Concept Plan, attached hereto as Exhibit C; and

WHEREAS, all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

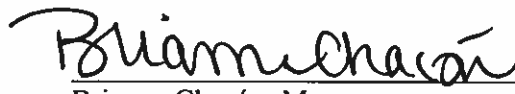
NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:

Section 1. That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

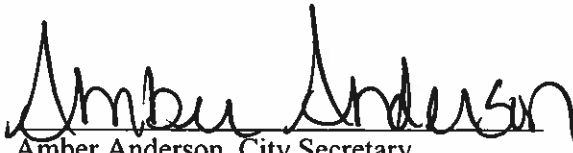
Section 2. The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from “AG” Agricultural to “PD 29” Planned Development 29.

- Section 3.** That Planned Development No. 29 shall be subject to the Development Regulations and Concept Plan attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.
- Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.
- Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.
- Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.
- Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 9 day of May, 2022.


Brianna Chacón, Mayor
City of Princeton, Texas

ATTEST:


Amber Anderson, City Secretary
City of Princeton, Texas



Metes and Bounds Description

SITUATED in Collin County, Texas, being part of the David Cherry Survey, Abstract No. 166 and being part of a called 46.64 acre tract of land described in a deed to Longneck Drive Venture, LLC, a Texas Limited Liability Company, recorded in document number 20161209001671360, Official Public Records of said county being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch rod found with a red cap stamped SPARR SURVEYING for the southwest corner SOUTHARD MIDDLE SCHOOL, an addition to the City of Princeton, recorded document number 201912030100005220, 2019-809, Official Public Records of said county, being the east right of way of Beauchamp Boulevard (100' ROW) and being the northwest corner of said 46.64 acre tract of land:

THENCE South 89 degrees 32 minutes 33 seconds East, with the south line of said SOUTHARD MIDDLE SCHOOL at 1938.05 feet passing a 5/8-inch iron rod found with a red cap stamped SPARR SURVEYING on the west bank of Ticky Creek, in all a total distance of 2598.37 feet to a 5/8-inch iron rod found with cap stamped RPLS 5587 for the northwest corner of a called 1.000 acre tract of land conveyed to Shara Berkvam, recorded in document number 20201019001807140, Official Public Records of said county:

THENCE South 8 degrees 23 minutes 42 seconds East, with the west line of said Berkvam tract a distance of 210.08 feet to 5/8-inch iron rod found with cap for the Southwest corner of said Berkvam tract:

THENCE South 89 degrees 31 minutes 39 seconds East, with the south line of said Berkvam tract a distance of 209.90 feet to a half inch iron rod set with a blue cap stamped APPLE 5932 for the southeast corner of said Berkvam tract and being the prescriptive west right of way of Farm Road No. 75, AKA Longneck Road:

THENCE South 8 degrees 22 minutes 07 seconds East, with said right of way a distance of 168.05 feet to a half inch iron rod set with a blue cap stamped APPLE 5932 for the southeast corner of herein described tract:

THENCE North 89 degrees 32 minutes 33 seconds West, a distance of 2864.77 feet to a half inch iron rod set with a blue cap stamped APPLE 5932 for the southwest corner of herein described tract and being said east right of way of Beauchamp Boulevard:

THENCE with said right of way the following two calls:

North 0 degrees 15 minutes 11 seconds East, a distance of 94.66 feet to a point:

THENCE North 0 degrees 11 minutes 45 seconds East, a distance of 279.03 feet to the PLACE OF BEGINNING and containing 23.33 acres of land.

Planned Development Standards

EXHIBIT C

Princeton Kalterra

The purpose of this Planned Development District is to accommodate high density urban living comprised of multi-family residential units with amenities.

The overall 23.27-acre PD district would be comprised of 14.77-acre multi family development tract and an 8.5-acre open space tract is located on Beauchamp Boulevard, approximately 840 feet south of Monte Carlo Boulevard.

Exhibits: Exhibit 1 - Legal description. Exhibit 2 – Concept plan; Exhibit 3 – Building Renderings Plan Concept; Exhibit 4 – Open Space Plan

Permitted Uses: Permitted uses are those uses allowed in the MF-2- Multi-Family Residential district-High Density. Amenities are permitted as accessory uses of the principal use.

Base District: Proposed development shall adhere to the MF-2 (Multifamily Residential District – High Density) except as stated otherwise in this article.

Development Standards: Development is subject to the MF-2(Multifamily Residential District – High Density) Standards except as stated otherwise in this article.

Standards	Proposed	City Code
Front Yard Setback	100 feet from Beauchamp centerline	25 feet
Side Yard Setback, Interior	25 feet	20 feet
Building Height, Clubhouse	25 feet, 1 story	45 feet, 3 stories
Parking Standard	2 spaces/1BR	2 spaces/1BR
	2 spaces/2BR	2 spaces/2BR
	3 spaces/3BR	3 spaces/3BR

Dumpsters, dumpster screening walls, and carports may encroach into interior side yards.

The maximum number of living units permitted is 378.

Architectural Standards

Exterior elevations shall be comprised of minimum 50% masonry (exclusive of windows, doors and other fenestrations) as defined in Section 82-6e.

Building architecture and materials shall generally adhere to Exhibit 3 – Building Renderings Plan Concept.

Parking:

Planned Development Standards**Princeton Kalterra**

Except as provided in this article, parking shall comply with the City of Princeton Zoning Ordinance Section 82.31:

A maximum of 45 tandem parking spaces may contribute to the parking space supply for the purpose of determining compliance with off-street parking requirements. Each tandem parking area behind each garage door counts as one parking space.

A minimum of 40 “tuck under” attached garage spaces are required.

No additional parking is required for office leasing area provided a minimum five parking spaces are designated as office patron parking near the leasing office.

Amenities: The following amenities are required:

One clubhouse with a minimum floor area 3,000 square feet.

Two pools with each having a minimum of 2,000 square feet of water surface area.

Two fitness centers with each having a minimum floor area of 1,500 square feet.

In addition to the principal pool courtyard, a minimum of three leisure areas. Each leisure shall be a minimum of 1,500 square feet each and contain a shade structure and may include dog parks, seating areas, grilling stations, yard games, or other outdoor amenities.

The development will comply with city parkland dedication requirements, per Chapter 50, Article III of the city’s code of Ordinances. Property either on the proposed development site or in the parkland open space lot may contribute to parkland/open space dedication requirements.

Open Space Parcel: One open space area with a minimum area of eight acres is required.

The open space lot shall contain the following amenities:

1. Two Primary 10-foot wide trails are required to run north-south across the open space exhibit E. The trails shall be constructed of concrete per the city’s standards.
2. A secondary 8-foot wide trail is required to connect the proposed multi family development to the most western Primary trail as generally shown on the Open Space Plan Exhibit E from the northern perimeter to the southern perimeter along Longneck Road. The 8-foot wide trail shall be constructed of concrete per the city’s standards.
3. Benches: A minimum of three benches are required along the 3-foot trail.
4. Dog park: A minimum 8,700-square foot dog park is required within the open space lot as generally shown on the Open Space Plan Exhibit E.

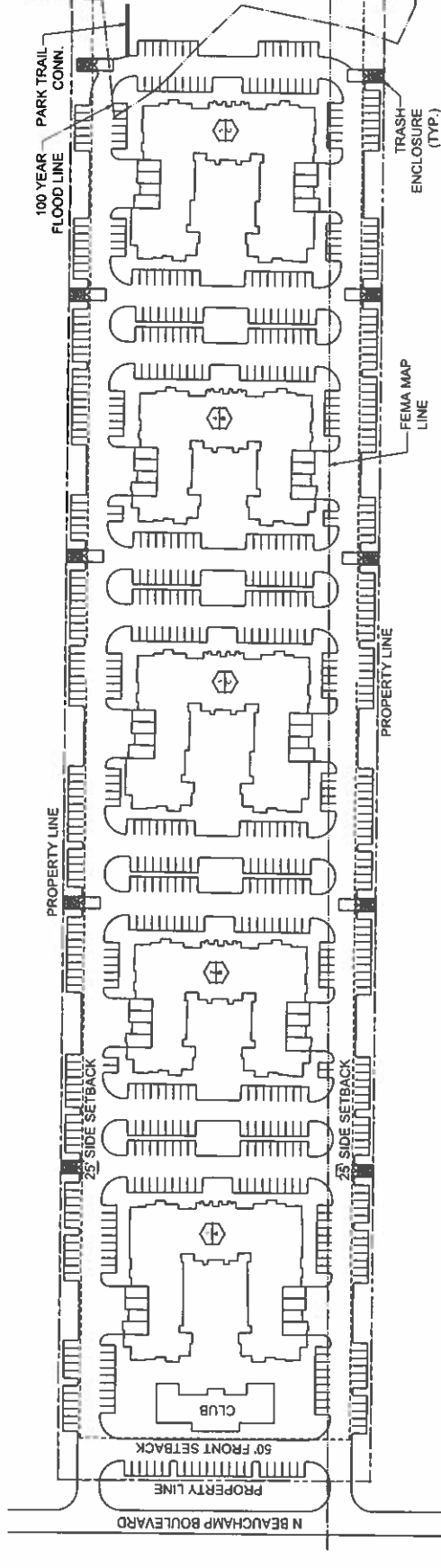
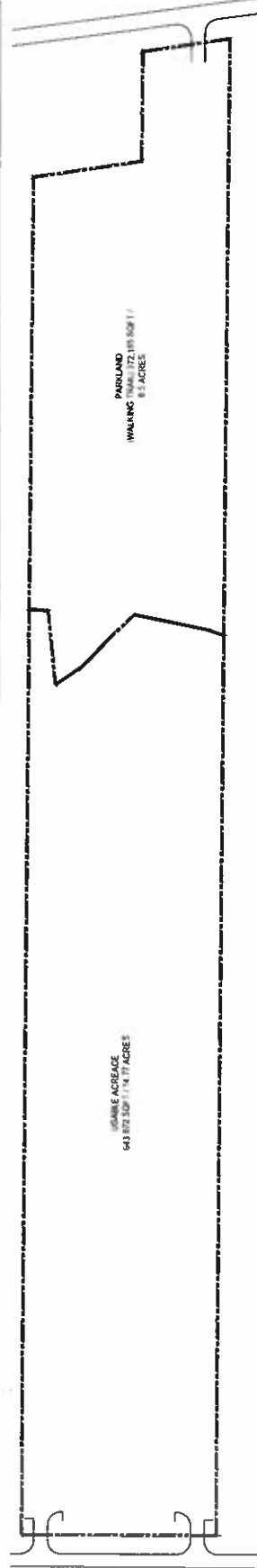
EXHIBIT C



PRINCETON KALTERRA PRINCETON, TEXAS

A1.0
SITE PLAN
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SITE DATA	
-23.27 ACRES	
-378 UNITS	
-16.24 UNITS/ACRE	
-UNIT MIX:	
60% A UNITS / 32% B UNITS / 8% C UNITS	
-UNIT AVERAGE SQ. FT.	900 SQ.FT
-1 BEDROOM MIN.	700 SQ.FT
-2 BEDROOM MIN.	950 SQ.FT
-3 BEDROOM MIN.	1200 SQ. FT
-BUILDING SHOWN @ 3 STORIES	
-45' MAX HEIGHT	
PARKING TABULATION	
-PARKING REQUIRED	454
-PARKING: 2.0/1 BEDROOM UNIT (2.0x227)	240
-PARKING: 2.0/2 BEDROOM UNIT (2.0x120)	90
-PARKING: 3.0/3 BEDROOM UNIT (3.0x30)	24
Total	784
PARKING PROVIDED	
SURFACE	694
TUCKUNDERS	45
TANDEMS	45
TOTAL	784 - 100%
PARKING DENSITY	2.07/UNIT



A1.0
SITE PLAN
SCALE 1" = 128'-0"

GRAPHIC SCALE
1 INCH = 128 FEET

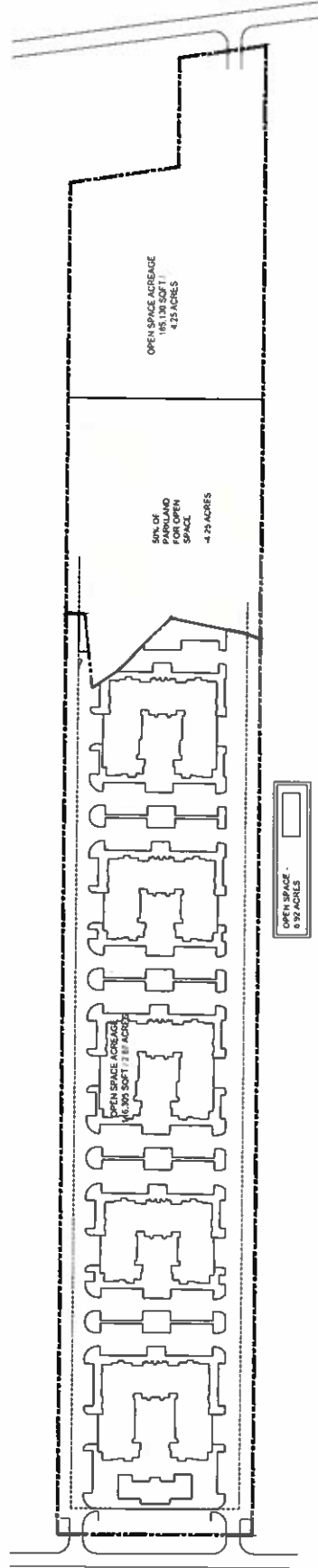
Exhibit 3
Building Renderings

Aerial from West Beauchamp facing East



Clubhouse Rendering





OPEN SPACE
SCALE 1" = 128' - 0"



EXHIBIT C



PRINCETON KALTERRA
PRINCETON, TEXAS

A1.1
PARKLAND
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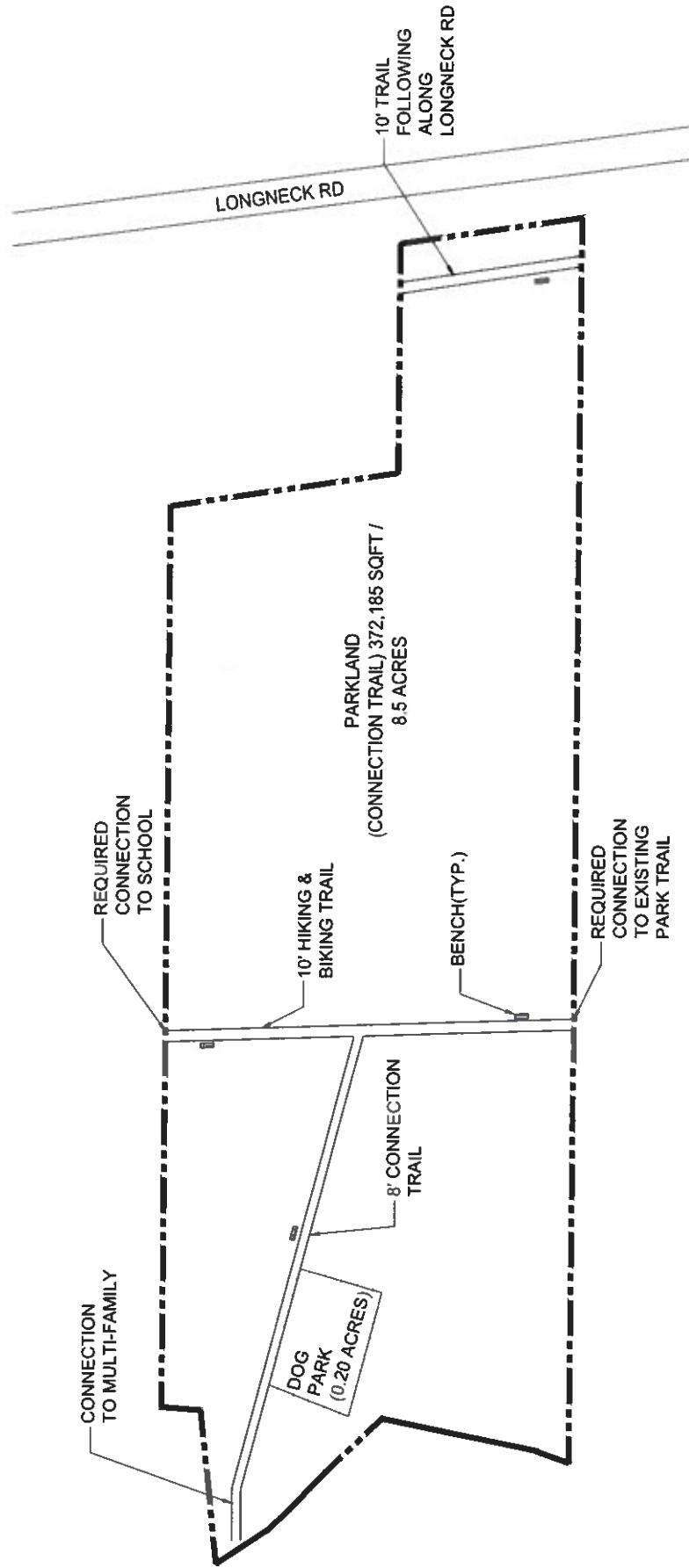


EXHIBIT
SCALE 1" = 1,150'-0"
GRAPHIC SCALE
1 INCH = 1,150 FEET