

**CITY OF PRINCETON**

**ORDINANCE NO. 2022-05-23-01**

**AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM “AG” AGRICULTURAL TO “PD 29” PLANNED DEVELOPMENT 31, ON A PORTION OF THE HARDIN WRIGHT SURVEY, ABSTRACT NO. 957; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the owner of the property generally described as 50.357 acres of land situated in the Hardin Wright Survey, Abstract No. 957, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

**WHEREAS,** the tract of land subject of this zoning amendment from “AG” Agricultural to “PD 31” Planned Development 31, is more particularly described by metes and bounds description set forth in Exhibit B; and

**WHEREAS,** the Planning and Zoning Commission held a public hearing, heard the case on May 16, 2022 and recommended approval of the zoning amendment from “AG” Agricultural to “PD 31” Planned Development 31 on May 16, 2022 and

**WHEREAS,** the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “AG” Agricultural to “PD 31” Planned Development 31 on May 23, 2022 and

**WHEREAS,** the property subject of Planned Development No. 31, shall be subject to specific Development Regulations and Concept Plan, attached hereto as Exhibit C; and

**WHEREAS,** all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:**

**Section 1.** That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

**Section 2.** The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from “AG” Agricultural to “PD 31” Planned Development 31.

**Section 3.** That Planned Development No. 31 shall be subject to the Development Regulations and Concept Plan attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.


**Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

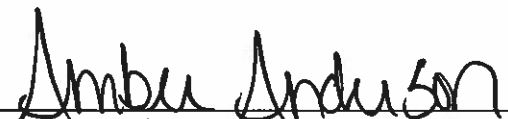
**Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.

**Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 23 day of May, 2022.

  
Brianna Chacón, Mayor  
City of Princeton, Texas

ATTEST:

  
Amber Anderson, City Secretary  
City of Princeton, Texas





**BEING** a tract of land situated in the Hardin Wright Survey, Abstract No. 957, Collin County, Texas and being all of a called 50.357 acre tract of land described as "Tract 1" in the Special Warranty Deed with Vendor's Lien recorded in Instrument No. 20150604000663620, Official Public Records, Collin County and being more particularly described as follows:

**BEGINNING** at a mag nail found for the northeast corner of said 50.357 acre tract and the northwest corner of a called 45.55 acre tract of land described in the Special Warranty Deed with Vendor's Lien to AJE Group LLC recorded in Instrument No. 20171204001603150, Official Public Records, Collin County, Texas and in the south line of a called 46.717 acre tract of land described in the Special Warranty Deed to Pulte Homes of Texas, L.P. recorded in Instrument No. 20201207002195240, Official Public Records, Collin County, Texas;

**THENCE** with the east line of said 50.357 acre tract, the following courses and distances:

South 00°32'05" West, a distance of 2,032.27 feet to a 3/8" iron rod found for the southwest corner of said 45.55 acre tract and the northwest corner of a called 2.7728 acre tract described in the Warranty Deed with Vendor's Lien to Ricky Sexton recorded in Instrument No. 20111205001311400, Official Public Records, Collin County, Texas;

South 00°19'08" West, a distance of 523.40 feet to a 1/2" iron rod found for the southeast corner of said 50.357 acre tract, in the north right-of-way line of Farm-to-Market Road No. 982 (a 120-foot wide right-of-way) and at the beginning of a non-tangent curve to the left with a radius of 1,015.00 feet, a central angle of 71°46'38", and a chord bearing and distance of North 51°31'44" West, 1,190.01 feet;

**THENCE** with the north line of said Farm-to-Market Road No. 982, the following courses and distances:

In a northwesterly direction, with said non-tangent curve to the left, an arc distance of 1,271.54 feet to a point for corner from which a disturbed 1/2" iron rod found bears South 15°14'16" West, a distance of 0.51';

North 87°25'06" West, a distance of 174.63 feet to a point for the southwest corner of said 50.357 acre tract and the southeast corner of a called 18.91 acre tract of land described in the Special Warranty Deed to LGI Homes – Texas, LLC recorded in Instrument No. 20200731001224540, Official Public Records, Collin County, Texas;

**THENCE** with the west line of said 50.357 acre tract, North 00°55'53" East, passing at a distance of 940.11 feet the northwest corner of said 18.91 acre tract and the southeast corner of a called 6.754 acre tract of land described in the Deed to Bob Tesch Investments, LLC recorded in Instrument No. 20200929001673840, Official Public Records, Collin County, Texas and passing at a distance of 1,762.81 feet a 1/2" iron rod found and continuing with said line, a total distance of 1,803.96 feet to a mag nail set for the northwest corner of said 50.357 acre tract and in the south line of a called 52.962 acre tract of land described in the Special Warranty Deed to AJFUND, LLC recorded in Instrument No. 20180802000971570, Official Public Records, Collin County, Texas;

**THENCE** with the north line of said 50.357 acre tract, North 89°48'34" East, a distance of 1,098.69 feet to a point for corner; to the **POINT OF BEGINNING** and containing 2,193,451 square feet or 50.3547 acres of land.

## DEVELOPMENT AND ARCHITECTURAL STANDARDS

### A. Purpose:

The purpose of this Project is to create a single-family rental development that will consist of three unit types; (i) Front-Entry Detached, (ii) Rear-Entry Detached, and (iii) Front-Entry Attached (i.e. townhome). The Project will include private streets and alleys that will provide direct access to each unit. All development standards or regulations not defined herein shall default to the City's Code of Ordinances as may be amended.

### B. Concept Site Plan:

The Property shall generally be developed in accordance with the Concept Site Plan (Exhibit C.1) with certain modifications permitted to address civil engineering, environmental, and quality of life design issues and related City staff comments that arise during the design and permitting process.

### C. District Regulations:

Unless otherwise stated herein, the Project shall conform to the general provisions set forth in the City's Zoning Ordinance, as may be amended. In the event the provisions in the Zoning Ordinance conflict with the Development Standards set forth herein, these Development Standards shall apply. The Property shall be developed in accordance with the MF-2 – Multiple Family Residential – High Density District regulations, except as described below. For purposes of this section, floor area shall mean air-conditioned space.

#### 1. Minimum Unit Size/Dwelling Area:

- Front-Entry Detached Unit Type
  - 3-Bedroom – 1,000 square feet
  - 4-Bedroom – 1,400 square feet
- Rear-Entry Detached Unit Type
  - 2-Bedroom – 800 square feet
  - 3-Bedroom – 1,000 square feet
  - 4-Bedroom – 1,300 square feet
- Front-Entry Attached (Townhome) Unit Type
  - 2-Bedroom – 800 square feet
  - 3-Bedroom – 1,000 square feet
  - 4-Bedroom – 1,300 square feet

#### 2. Maximum Building Height:

- 35 feet
- 2.5 stories

#### 3. Building Orientation:

- Front-Entry Detached Units will have frontage on a private street with garage access from that street.
- Rear-Entry Detached Units will have frontage on a private street or open space with garage access provided in the rear from a private alley.
- Front-Entry Attached (Townhome) Units will have frontage on a private street with garage access from that street.

4. **Building Separation:**
  - A minimum 10-foot building separation shall be provided between all detached dwelling units and/or townhome building rows.
5. **Setback Requirements:**
  - Minimum building setback from FM 982 and County Road 452 (Myrick Lane) is 35 feet inclusive of a minimum 15-foot landscape buffer.
  - Minimum building setback from the eastern and western Property boundary is 15 feet.
  - Minimum building setbacks from internal private streets and alleys, measured from the limits of the associated street and public utility easements, shall be as follows:
    - **Front-Entry Detached Unit Type**
      - Front/Garage: 20 feet
      - Rear: 15 feet.
      - Side: 10 feet
    - **Rear-Entry Detached Unit Type**
      - Front: 5 feet
      - Rear/Garage: 5 feet
      - Side: 10 feet
    - **Front-Entry Townhome Unit Type**
      - Front: 20 feet
      - Rear/Garage: 15 feet
      - Side: 10 feet
6. **Parking Requirements:**
  - Minimum number of parking spaces per unit:
    - 1-Bedroom Units: 1.5 spaces
    - 2-Bedroom Units: 2 spaces
    - 3-Bedroom Units: 2.5 spaces
  - Each unit shall provide a minimum 1 attached garage space. Garages shall count towards the overall required number of spaces.
  - In addition to the garage space, the following shall count towards the overall required number of spaces:
    - Driveways for Front-Entry Detached and Front-Entry Townhome Units.
    - On-street parallel parking located along private streets.
    - Head-in parking spaces located on private streets and alleys.
7. **Screening & Fencing:**
  - A 6-foot solid masonry screen wall is required along FM 982 and County Road 452 (Myrick Lane).
  - A 6-foot board-by-board wood fence with a consistent stain is required along the eastern and western boundaries of the Property.
  - Private yard fencing for individual units, where provided, shall be a 6-foot board-by-board wood fence with a consistent stain.
8. **Refuse Facilities:**
  - Residential trash pickup will be provided for each individual unit. No refuse facilities (or dumpsters) will be provided on site except in the clubhouse

area to serve the clubhouse.

**D. Private Street & Alley Standards:**

All internal streets and alleys within the site shall be considered private and designed to meet the City's paving standards and the City's fire lane requirements. The following street sections shall be used as generally shown on the Concept Site Plan.

- **Divided Street Section**
  - 70' street & utility easement.
  - 10' median with 21' back-of-curb to back-of-curb concrete pavement on both sides of the median.
  - 9' parkways including a 5' concrete sidewalk on both sides of the street.
  - Parallel parking shall be allowed where Rear-Entry Detached Units front onto a divided street.
- **Undivided Street Section**
  - 43' street & utility easement.
  - 25' back-of-curb to back-of-curb concrete pavement.
  - 9' parkways including a 5' concrete sidewalk on both sides of the street.
  - Parallel parking shall be allowed where Rear-Entry Detached Units front onto an undivided street. Where parallel parking is provided, an additional 8' of street & utility easement and pavement width shall be provided.
  - Head in parking shall be allowed along an undivided street.
- **Alley Section**
  - 26' street & utility easement.
  - 20' edge-to-edge concrete pavement.
  - 3' parkways on both sides of the alley.
  - Head-in parking shall be allowed along an alley.

**E. Amenities & Open Space Requirements:**

**1. Amenities:**

- The Project shall include the following amenities:
  - Amenity Center/Clubhouse with pool to be constructed in general conformance with the floorplan and elevations as depicted in (Exhibit C.3)
  - Playground
  - Outdoor Grill & Pergola
  - Event Lawn

**2. Open Space:**

- Open Space shall be provided in the locations generally shown on the Concept Site Plan. All useable open space, excluding private yard areas for individual units and arterial buffers (described below), shall count towards the required park land dedication for the Project. Open Space areas used for drainage/detention shall be counted at a rate of 50%.
- **Perimeter Arterial Open Space:**
  - A minimum 15-foot landscape buffer shall be provided along FM 982 and



County Road 452 (Myrick Lane). The 15-foot landscape buffer shall include one (1) large shade tree (min. 3-inch caliper at planting as defined below) generally placed every 40 linear feet.

**F. Cluster Mailboxes:**

Mailboxes for residents shall be clustered throughout the community according to United States Postal Service guidelines. The mailboxes shall be a black Classic Cluster Box with Crown Cap and Pillar Pedestal mounted on a concrete pad. Each mail area shall be lighted.

**G. Building Standards:**

The cumulative exterior facades of each building shall include a minimum of 80% masonry. Masonry shall include full width brick, natural stone, cast stone, or decorative pattern stucco. Building elevations that face County Road 452 (Myrick Lane) or FM 982 shall consist of 100% masonry. Buildings shall be constructed in general conformance with the building elevations shown in (Exhibit C.2)



**Land Use Acreage Summary**

Permitted Allowed RDW (Acres)	1.4
Excess	0.0
<b>Total</b>	<b>1.4</b>

**Open Space Acreage Summary**

Area (Acres)	48.7
<b>Total Percent Open Space</b>	<b>35.2%</b>

**Unit Type Summary**

Area (Acres)	91	33.3%
Area (Acres)	261	48.3%
<b>Total</b>	<b>352</b>	<b>37.5%</b>

**Density Summary (Units per Acre)**

Overall	0.1
<b>Net of Permitted RDW</b>	<b>0.4</b>

CONCEPTUAL SITE PLAN  
**Penmasta**  
 Levon, Texas  
 November 2021

**Kimley»Horn**  
 6100 Preston Parkway, Suite 210  
 Plano, Texas 75024  
 972.266-2500  
 State of Texas Registration No. P-028

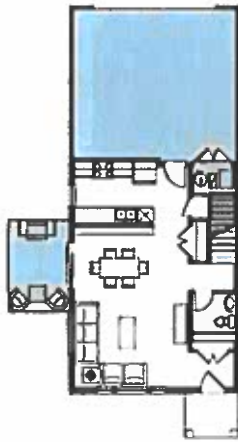
## 22' Rear-Load



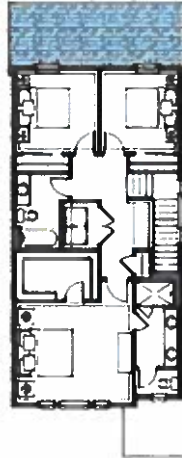
Elevation A

Elevation B

Elevation C



GROUND FLOOR



UPPER FLOOR  
(3 BR PLAN)



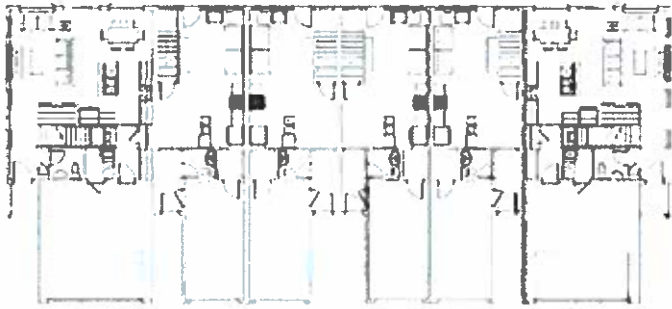
UPPER FLOOR  
(4 BR PLAN)



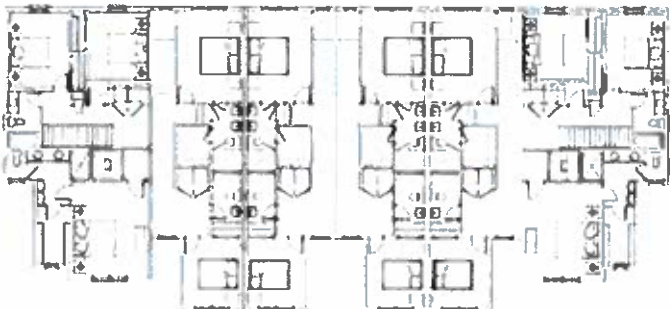
# 25' & 16' TH Front-Load



GARAGE SIDE ELEVATION

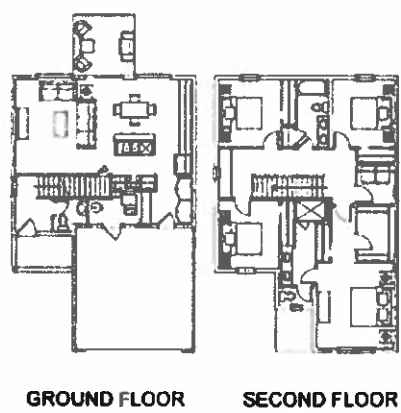
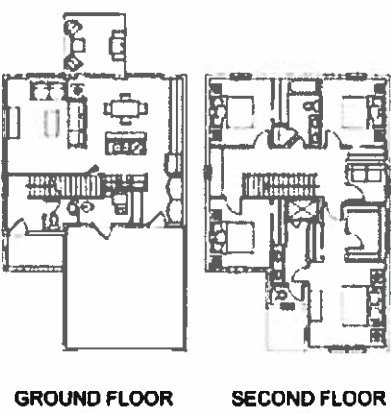
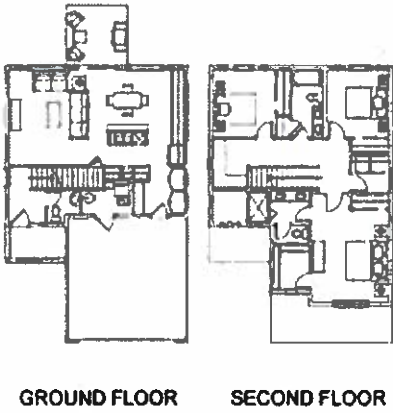


GROUND FLOOR



SECOND FLOOR

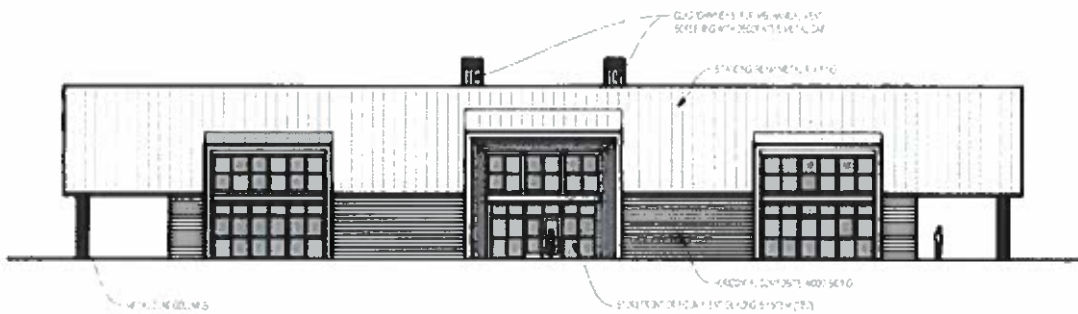
### 30' Front-Load



## Club House



# Club House



ELEVATION



FLOOR PLAN

CORE

Princeton Penmatsa

December 15, 2021 DIG BILT

Filed and Recorded  
 Official Public Records  
 Stacey Kemp, County Clerk  
 Collin County, TEXAS  
 03/18/2022 09:49:46 AM  
 \$174.00 AHASIK  
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*Stacey Kemp*