

**CITY OF PRINCETON**

**ORDINANCE NO. 2019-06-24-03**

**AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM "SF-E", SINGLE FAMILY ESTATE, "M-1" MANUFACTURING/INDUSTRIAL & "C-1" COMMERCIAL TO "PD 18" PLANNED DEVELOPMENT 18, ON A PORTION OF THE DAVID CHERRY SURVEY, ABSTRACT NO. 166; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the owner of the property generally described as a 104.97 acre tract of land situated in the David Cherry Survey, Abstract No. 166, City of Princeton, Collin County, Texas, as reflected on the survey plat shown in Exhibit B; and

**WHEREAS,** the tract of land subject of this zoning amendment from "SF-E" Single Family Estate, "M-1" Manufacturing/Industrial & "C-1" Commercial to "PD 18" Planned Development 18, is more particularly described by metes and bounds description set forth in Exhibit A; and

**WHEREAS,** the Planning and Zoning Commission held a public hearing, heard the case on June 17, 2019 and recommended approval of the zoning amendment from "SF-E" Single Family Estate, "M-1" Manufacturing/Industrial & "C-1" Commercial to "PD 18" Planned Development 18 on June 17, 2019 and

**WHEREAS,** the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from "SF-E" Single Family Estate, "M-1" Manufacturing/Industrial & "C-1" Commercial to "PD 18" Planned Development 18 on June 24, 2019 and

**WHEREAS,** the property subject of Planned Development No. 18, shall be subject to specific Development Regulations, attached hereto as Exhibit C; and

**WHEREAS,** all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:**

**Section 1.** That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

**Section 2.** The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of

Exhibit"A"

Being all that certain lot, tract or parcel of land situated in the David Cherry Survey, Abstract No. 166, in Collin County, Texas, and being a tract of land described in deed to Georgia-Texas Land & Cattle Company, L.L.C., a Texas limited Company recorded in Instrument No. 20070924001322790, Deed Records, Collin County, Texas (D.R.C.C.T.) and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for corner in the East line of FM 75, at the most Northerly Southwest corner of a tract of land described in deed to McMahan-Gantt Farm, L.L.C., a Texas limited liability Company recorded in Instrument No. 20170428000540990, (D.R.C.C.T.) and at the Northwest corner of said Georgia-Texas Land & Cattle Company tract;

THENCE South 89 degrees 18 degrees 59 minutes 59 seconds East, a distance of 2926.52 feet to a 1/2 inch iron rod found at an "ell" corner of said McMahan-Gantt tract, at the Northeast corner of said Georgia-Texas Land & Cattle Company tract ;

THENCE South 00 degrees 57 minutes 44 seconds West, passing a 653.36 feet to a 5/8 inch iron rod found for reference and continuing a total distance of 1383.08 feet to a 1/2 inch iron rod found for corner in West line a tract of land described in deed to Danny L. Copeland, David Copeland and Cathy Jackson recorded in Instrument No. 20101220001390360, (D.R.C.C.T.);

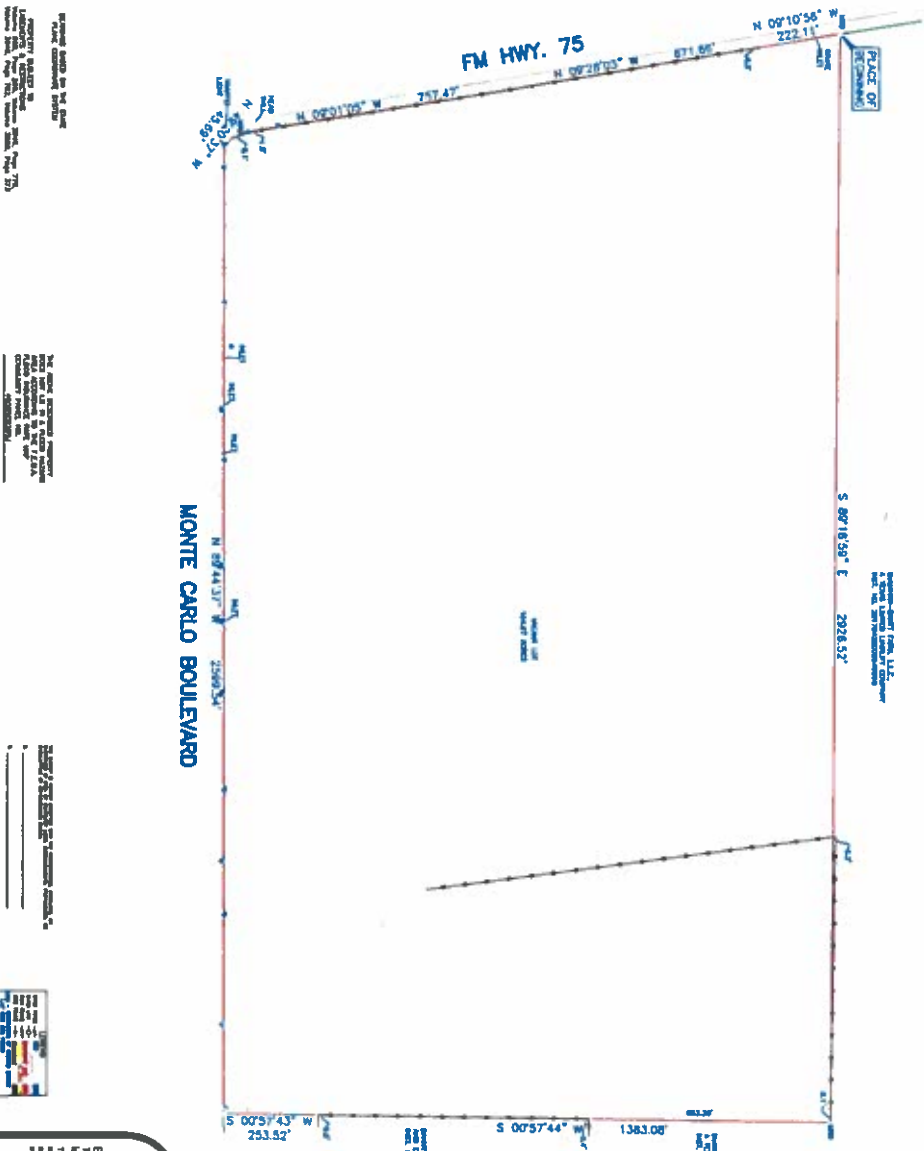
THENCE South 00 degrees 57 minutes 43 West, a distance of 253.52 feet to a 1/2 inch iron rod found for corner in the North line of Monte Carlo Boulevard, at the Southwest corner of said Copeland tract and at the Southeast corner of said a said McMahan-Gantt tract;

THENCE North 89 degrees 44 minutes 37 seconds West, a distance of 2599.54 feet to a 1/2 inch iron rod found for corner in the transitional right-of-way of the said North line of Monte Carlo Boulevard with the said East line of FM 75;

THENCE North 48 degrees 20 minutes 37 seconds West, a distance of 45.69 feet to a 1/2 inch iron rod found for corner in the East line of said FM 75;

THENCE North 09 degrees 01 minutes 05 seconds West, a distance of 757.47 feet to a 1/2 inch iron rod found in the said East line of said FM 75;

THENCE North 09 degrees 10 minutes 56 seconds West, along said East line of FM 75, a distance of 222.12 feet to the PLACE OF BEGINNING and containing 104.97 acres of land.



THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR REPUBLIC TITLE

THESE SURVEY DATA AND CALCULATIONS ARE THE PROPERTY OF REPUBLIC TITLE AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF REPUBLIC TITLE.

DATE	TIME	WEATHER
11/08/2016	11:00 AM	Partly Cloudy
11/09/2016	10:00 AM	Sunny
11/10/2016	10:00 AM	Sunny
11/11/2016	10:00 AM	Sunny
11/12/2016	10:00 AM	Sunny
11/13/2016	10:00 AM	Sunny
11/14/2016	10:00 AM	Sunny
11/15/2016	10:00 AM	Sunny
11/16/2016	10:00 AM	Sunny
11/17/2016	10:00 AM	Sunny
11/18/2016	10:00 AM	Sunny
11/19/2016	10:00 AM	Sunny
11/20/2016	10:00 AM	Sunny
11/21/2016	10:00 AM	Sunny
11/22/2016	10:00 AM	Sunny
11/23/2016	10:00 AM	Sunny
11/24/2016	10:00 AM	Sunny
11/25/2016	10:00 AM	Sunny
11/26/2016	10:00 AM	Sunny
11/27/2016	10:00 AM	Sunny
11/28/2016	10:00 AM	Sunny
11/29/2016	10:00 AM	Sunny
11/30/2016	10:00 AM	Sunny
12/01/2016	10:00 AM	Sunny
12/02/2016	10:00 AM	Sunny
12/03/2016	10:00 AM	Sunny
12/04/2016	10:00 AM	Sunny
12/05/2016	10:00 AM	Sunny
12/06/2016	10:00 AM	Sunny
12/07/2016	10:00 AM	Sunny
12/08/2016	10:00 AM	Sunny
12/09/2016	10:00 AM	Sunny
12/10/2016	10:00 AM	Sunny
12/11/2016	10:00 AM	Sunny
12/12/2016	10:00 AM	Sunny
12/13/2016	10:00 AM	Sunny
12/14/2016	10:00 AM	Sunny
12/15/2016	10:00 AM	Sunny
12/16/2016	10:00 AM	Sunny
12/17/2016	10:00 AM	Sunny
12/18/2016	10:00 AM	Sunny
12/19/2016	10:00 AM	Sunny
12/20/2016	10:00 AM	Sunny
12/21/2016	10:00 AM	Sunny
12/22/2016	10:00 AM	Sunny
12/23/2016	10:00 AM	Sunny
12/24/2016	10:00 AM	Sunny
12/25/2016	10:00 AM	Sunny
12/26/2016	10:00 AM	Sunny
12/27/2016	10:00 AM	Sunny
12/28/2016	10:00 AM	Sunny
12/29/2016	10:00 AM	Sunny
12/30/2016	10:00 AM	Sunny
12/31/2016	10:00 AM	Sunny



**SURVEY PLAT**



DAVID S. PROFFER, Registered Professional Land Surveyor (214) 336-1090  
 Surveyed on 11/08/2016, 11/09/2016, 11/10/2016, 11/11/2016, 11/12/2016, 11/13/2016, 11/14/2016, 11/15/2016, 11/16/2016, 11/17/2016, 11/18/2016, 11/19/2016, 11/20/2016, 11/21/2016, 11/22/2016, 11/23/2016, 11/24/2016, 11/25/2016, 11/26/2016, 11/27/2016, 11/28/2016, 11/29/2016, 11/30/2016, 12/01/2016, 12/02/2016, 12/03/2016, 12/04/2016, 12/05/2016, 12/06/2016, 12/07/2016, 12/08/2016, 12/09/2016, 12/10/2016, 12/11/2016, 12/12/2016, 12/13/2016, 12/14/2016, 12/15/2016, 12/16/2016, 12/17/2016, 12/18/2016, 12/19/2016, 12/20/2016, 12/21/2016, 12/22/2016, 12/23/2016, 12/24/2016, 12/25/2016, 12/26/2016, 12/27/2016, 12/28/2016, 12/29/2016, 12/30/2016, 12/31/2016.

THESE ARE NO ENCUMBRANCES, CONFLICTS, OR PROVISIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'  
 Date: 11/08/2016  
 4: F. No. 502-28346-00  
 4th Ed. 2015/01/15  
 Drawn By: DML

7509 PINEHURST CIRCLE  
 HOUSTON, TEXAS 77058  
 PHONE: 214-336-1090



Cope X Tract

06/17/2019

Exhibit "C"  
Development Standards

Planned Development Regulations  
± 104.97 Acres

The Cope X subject property consist of the 105-acre tract of land located at the northeast intersection of Monte Carlo Boulevard and FM Highway 75 (Longneck Road), within the Corporate limits of the City of Princeton, Collin County, Texas. The subject property shall be divided into four (4) proposed sub-tracts to be developed in accordance with the City of Princeton Zoning Ordinance for Single Family Residential (SF-2 & SF-Z), Townhome District (SF-TH), Multi-Family Residential District (MF 2), and Commercial District 1 (C-1) and General Commercial District (C-2) and shall adhere to the City of Princeton Subdivision Ordinance, as amended, and shall conform to the following conditions and requirements stated herein:

1. **Zoning Exhibits**

The development shall generally be in accordance with the Exhibit C, Preliminary Concept Plan, including the location, orientation, and size of various land uses and open spaces.

2. **Proposed Land Use Inventory**

Each land use category identified below shall be a gross area that includes land to be dedicated for public rights-of-way and infrastructure easements. The land use tabulation of the proposed Mixed-Use zoning categories may be reconfigured in the final development. The acreage listed is an approximation based upon the attached Exhibit C, Preliminary Concept Plan.

Table 2.1

<u>Land Use Category</u>	<u>Gross Acres</u>	<u>% of Land</u>
Single Family Residential	± 60	57 %
Townhome District	± 10	10 %
Multi-Family Residential District: MF 2	± 17	16 %
<u>Commercial District: C-1/C-2</u>	<u>± 18</u>	<u>17 %</u>
Total Gross Acreage	± 105	100%

*The Preliminary Concept Plan is not intended to be a detailed proposal for the site; rather it shall illustrate the general location of the land uses, street layout, treatment of transition areas to adjacent uses and additional appropriate information required by the subject property and City stakeholders.*

### 3. Design Criteria

- a. Commercial District: C-1/C-2: This area shall conform to Section 82-21 C-1 – Commercial District and/or 82-22 C-2 – General Commercial District of the City’s Comprehensive Zoning Ordinance 2016-01-25-01.
  
- b. Multifamily District: This area shall conform to Section 82-19 MF-2 – Multifamily Residential District – high Density of the City’s Comprehensive Zoning Ordinance 2016-01-25-01 with the following revisions:
  - i. Parking Regulations – The following number of spaces shall be provided per Unit:
    - 1. Efficiencies – 1 space per Unit
    - 2. One Bedroom Unit – 1.5 spaces per unit
    - 3. Two Bedroom Unit – 2 spaces per unit
    - 4. Three Bedroom Unit – 2.5 spaces per unit
    - 5. 30% of Required Spaces shall be covered spaces
  
- c. Single Family Residential Use: This area shall consist of product types ranging from single family detached homes and townhomes. There should be a progression of lot size and increase further from the commercial retail intersection of Monte Carlo Boulevard and FM Highway 75 (Longneck Road). Smaller lots should be located closer to the commercial area and serve as a transition between the commercial uses and the larger lot residential areas.

*(This Area Intentionally Left Blank)*

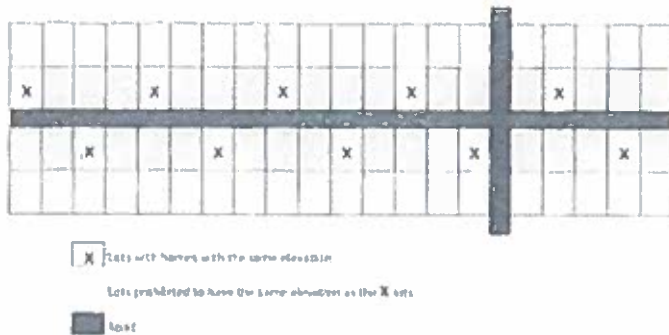
TABLE 4.1: RESIDENTIAL USES

	SINGLE FAMILY (SF-2) 50' LOT	SINGLE FAMILY (SF-Z) 40' LOT	TOWNHOMES (SF-TH)
Attached Product			X
Detached Product	X	X	
Front Entry / Rear Entry	Front Entry	Front Entry	Rear Entry
Minimum Lot Area	5,750 SF	4,600 SF	2,200 SF
Minimum Lot Width	50'	40'	22'
Minimum Lot Depth	115'	115'	100'
Front Yard Setback	20' min.	20' min.	20' min.
Side Yard Setback	5'	Min. 5' on each side; Min. 10' between structures	Min. 10' between structures
Side Yard Adjacent to a Street	15'	15'	15'
Rear Yard Setback	20'	20'	20'
Minimum Home Square Footage	1,800 SF	1,300 SF	1,200 SF
Maximum Height	35' – 2 story max.	35' – 2 story max.	35' – 2 story max.
Minimum Roof Pitch	6:12	6:12	6:12
Maximum Density per Net Acres	Range between 4-6 per gross acre	Range between 4-6 per gross acre	12 units per acre
Maximum Lot Coverage	55%	55%	60%
Minimum Parking Requirements	2 Garage Spaces Per Unit	2 Garage Spaces Per Unit	2 Garage Spaces Per Unit

- d. Side lot lines shall be permitted to be non-radial to the street right-of-way.
- e. The minimum lot width for single family detached for irregular lots along elbows and cul-de-sacs shall have the minimum lot width per lot size designation at the front build line as measured along the arc of the build line parallel to the right-of-way.
- f. Townhomes shall be built to accommodate three to eight units per structure.

**4. Character Elevations**

- a. The minimum front building line setback for Single Family and Townhome lots permitted to be rescued by a maximum of 5 feet to allow covered front porches, living area, and J-swing garages to encroach the front building line.
  - i. Front entry garages shall not be permitted to encroach the front building line setback.
- b. Mailboxes shall meet the minimum requirements set forth by the City of Princeton United States Postal Service. The developer shall coordinate with USPS regarding mailbox locations, if it is determined by the USPS that cluster mail boxes are not required, then builder may elect to construct double mail boxes that may serve two residences and shall be placed at the common property line.
- c. Building elevations and brick colors shall be permitted to repeat only when there are three intervening lots of separation on the same side of the street as shown in the diagram below.
- d. The same elevation and brick color shall not repeat on the lot across the street or on the lots on either side of the lot across the street as shown in the diagram below.
- e. Mirror image floor plans shall be permitted and not considered duplicates for the purpose of lot spacing.



**5. Streets, Alleys, and Driveways**

- a. Alleys shall not be required for SF-2 and SF-Z zoned tracts.
- b. Alleys shall be required for Townhome lots and shall be installed per the City's standard as of the approved date of this PD to have a minimum 20-foot Right-of-Way and a minimum pavement width of 12 feet.
- c. Dead-end alleys shall be permitted within the Planned Development and shall have a maximum dead-end length of 200 linear feet measured along the alley right of way. Lots backing to a dead-end alley shall have a designated trash polly-cart pad for trash pick-up outside of the dead-end. The location of said pad shall be determined at the time of Preliminary Plat. All structures shall meet City of Princeton Fire Code.
- d. Residential streets shall have a minimum Right-of-Way width of 50 feet and a minimum pavement width of 31 feet as measured from back-of-curb to back-of-curb.
- e. To the greatest extent possible, driveways shall be placed on the lot line farthest from the subdivision entry except where prohibited by grading.

**6. Screening**

- a. A minimum 25-foot landscape buffer shall parallel Monte Carlo Boulevard with a six-foot (6') tall masonry screen wall required along the back of the lots parallel to Monte Carlo Boulevard.
- b. A minimum 25-foot landscape buffer shall parallel FM Highway 75 (Longneck Road) with a six-foot (6') tall masonry screen wall required along the multi-family lot adjacent to FM Highway 75 (Longneck Road).
- c. Screening between residential and non-residential uses: 6-foot masonry screening wall.
- d. Buffering between residential and non-residential uses: Minimum 20' building setback from screening wall on the commercial tracts.
- e. Screening between detached single family residential lots and townhomes and multifamily districts: A minimum six-foot (6') tall board-on-board wood fence with masonry columns; columns will be centered on a single family lot line and spaced a maximum of 200 linear feet on center.

**7. Open Space**

- a. Open spaces shall be internal to the Planned Development and may include but are not limited to neighborhood pocket parks, passive recreational uses, and landscape buffers.
- b. Coordination with City Staff on required Open Space and/or Parkland Dedication fee shall be required for each preliminary plat submittal to determine acceptable amount of Open Space Required or an Acceptable Fee.



- c. Existing and proposed drainage easements and/or detention ponds shall be permitted in the calculation of common open space areas and shall not count towards 50% of the required open space/parkland.
- d. Open spaces shall be owned and maintained by a combination of a Homeowners Association (HOA) and/or a Property Owners Association (POA).

#### 8. Mailboxes

- a. Mailboxes shall meet the minimum requirements set forth by the United States Postal Service. The developer shall coordinate with USPS regarding mailbox locations.

#### 9. Landscape and Streetscape Requirements

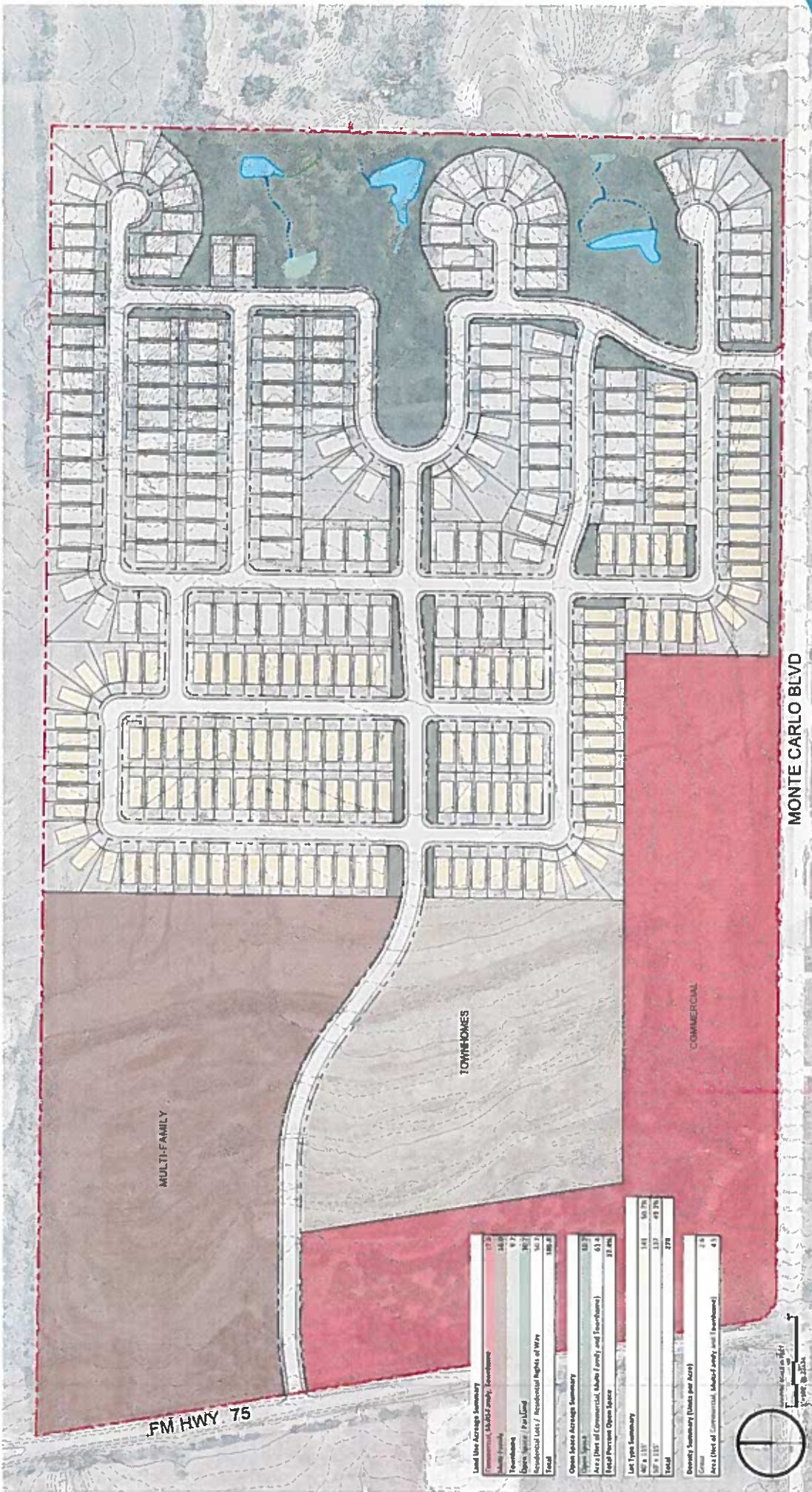
- a. Single Family and Townhome sidewalks shall be a minimum five-foot (5') wide located one-foot inside the public right-of-way.
- b. Commercial sidewalks shall be a minimum five feet (5') wide.
- c. A sidewalk shall be located on both sides of all public right-of-way in accordance with the City of Princeton Subdivision Ordinance.
- d. Where proposed trails are adjacent to proposed roadways, the trail shall serve as the required sidewalk.
- e. Proposed trails shall range in width from six feet (6') to eight feet (8') and be constructed of either reinforced concrete or decomposed granite. Trail locations and width of proposed trails shall be determined at the time of Preliminary Plat. Decomposed granite shall not be constructed within fifty feet (50') of rights-of-way or lot line.
- f. All proposed sidewalk and/or trails adjacent to Monte Carlo Boulevard and Longneck Road shall be concrete.
- g. A minimum of two (2) shade trees per lot/unit for all residential use categories and will be allowed to be placed within the front yard, rear yard, and/or common open space.
- h. All trees planted shall be a minimum of three caliper inches (3") upon install.

#### 10. Planned Development Amendments and Administrative Provisions

Except as otherwise provided, minor amendments or variations to the plan shall be processed and approved by the Planning Director and shall not require approval by the Planning and Zoning Commission. The subject property shall generally conform to the layout as depicted in the Preliminary Concept Plan. The following criteria shall be permitted as a minor amendment or variation to the plan:

- a. Streets may be realigned provided that circulation throughout each Land Use Category adequately meet the minimum requirements identified with the Planned Development and of the Town's Engineering Design Standards.
- b. Each individual Land Use Category identified in Table 2.1 may increase or decrease in acreage by 15%.





**Land Use Acreage Summary**

Commercial, Multi-Family, Townhomes	17.9
Multi-Family	14.9
Townhomes	3.0
Open Space / Parking	9.1
Recreational Lots / Recreational Rights of Way	56.7
<b>Total</b>	<b>188.7</b>

**Open Space Acreage Summary**

Open Space	8.9
Area (Net of Commercial, Multi-Family, and Townhomes)	61.5
<b>Total</b>	<b>70.4</b>

**Lot Type Summary**

Lot A (110')	148
Lot B (110')	137
<b>Total</b>	<b>279</b>

**Density Summary (Units per Acre)**

Commercial	4.9
Area (Net of Commercial, Multi-Family, and Townhomes)	4.1



**Gope X: 105-Acre Planned Development**  
**Conceptual Land Plan**  
 Houston, Texas  
 May 2019

EXHIBIT "C"

This drawing is a conceptual plan only and does not constitute an offer of any financial product or service. It is not intended to be used for any other purpose. All rights reserved. © 2019 Kimley-Horn and Associates, Inc. All rights reserved.

the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from "SF-E" Single Family Estate, "M-1" Manufacturing/Industrial & "C-1" Commercial to "PD 18" Planned Development 18.

**Section 3.** That Planned Development No. 18 shall be subject to the Development Regulations attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.

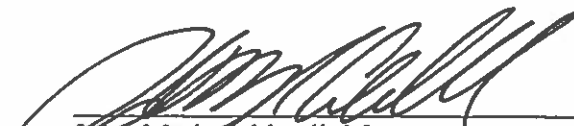
**Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

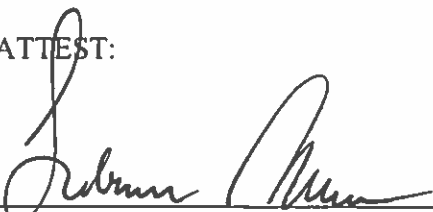
**Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.

**Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 24 day of June, 2019.

  
\_\_\_\_\_  
John-Mark Caldwell, Mayor  
City of Princeton, Texas

ATTEST:

  
\_\_\_\_\_  
Tabatha Monk, City Secretary  
City of Princeton, Texas

