

**CITY OF PRINCETON**

**ORDINANCE NO. 2019-09-10-15**

**AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM "AG", AGRICULTURAL TO "PD 20" PLANNED DEVELOPMENT 20, ON A 19.989 ACRE TRACT OF LAND IN THE HARDEN WRIGHT SURVEY, ABSTRACT NO. 957; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the owner of the property generally described as a 19.989 acre tract of land situated in the Harden Wright Survey, Abstract No. 957, City of Princeton, Collin County, Texas, as reflected on the site plan shown in Exhibit B; and

**WHEREAS,** the tract of land subject of this zoning amendment from "AG" Agricultural to "PD 20" Planned Development 20, is more particularly described by metes and bounds description set forth in Exhibit A; and

**WHEREAS,** the Planning and Zoning Commission held a public hearing, heard the case on September 16, 2019 and recommended approval of the zoning amendment from "AG" Agricultural to "PD 20" Planned Development 20 on September 16, 2019 and

**WHEREAS,** the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from "AG" Agricultural to "PD 20" Planned Development 20 on September 23, 2019 and

**WHEREAS,** the property subject of Planned Development No. 20, shall be subject to specific Development Regulations, attached hereto as Exhibit B & Exhibit C ; and

**WHEREAS,** all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

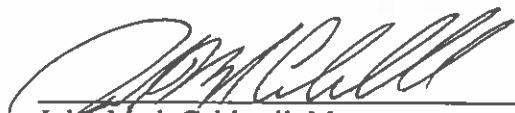
**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:**

**Section 1.** That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

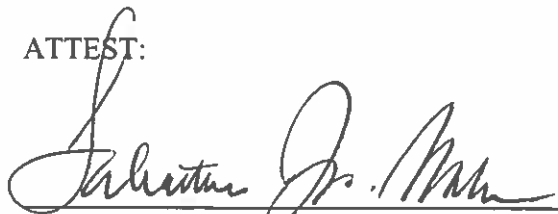
**Section 2.** The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B, the zoning change classification from "AG" Agricultural to "PD 20" Planned Development 20.

- Section 3.** That Planned Development No. 20 shall be subject to the Development Regulations attached hereto as Exhibit B & Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.
- Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.
- Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.
- Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.
- Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 15 day of October, 2019.

  
\_\_\_\_\_  
John-Mark Caldwell, Mayor  
City of Princeton, Texas

ATTEST:

  
\_\_\_\_\_  
Tabatha Monk, City Secretary  
City of Princeton, Texas



## EXHIBIT A

Being a 19.989 acre tract of land situated in the Hardin Wright Survey, Abstract Number 957, Collin County, Texas, as shown in the Final Plat of Quail Ridge Estates, recorded under Instrument No. 20071214010004360 of the Plat Records of Collin County, Texas, said 19.989 acre tract being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for the southwest corner of said 19.989 acre tract, the northwest corner of Lot 37 of Phase 2, Highland Creek Estates Addition, as recorded in Cabinet C, Page 595 of the Plat Records of Collin County, Texas, and the east line of County Road 447, said iron rod also being North 00 degrees 06 minutes 27 seconds West, a distance of 144.45 feet from a 3/8 inch iron rod found for the southwest corner of said Lot 37 and the westernmost northwest corner of a tract of land as described in deed to Richard Jones and wife, Martha Jones as recorded in Volume 4997, Page 3057 of said Deed Records;

THENCE North 00 degrees 04 minutes 06 seconds East, along the east line of said County Road, a distance of 586.08 feet to a 1/2 inch iron rod found for the southwest corner of a tract of land as described in deed to William C. Gathwright and Mary B. Gathwright as recorded under County Clerk's file number 96-10856 of said Deed Records, said iron rod also being South 00 degrees 04 minutes 06 seconds West, a distance of 798.04 feet from a 3/8 inch iron rod found for the northwest corner of said Gathwright tract;

THENCE North 89 degrees 24 minutes 02 seconds East, along the south line of said Gathwright tract, a distance of 1470.55 feet to the southeast corner of said Gathwright tract, and being in the west line of a tract of land as described as the Fourth Tract in said McAnally deed and being in the approximate center line of Ticky Creek;

THENCE along the west line of said Fourth tract and the approximate centerline of said Creek the following calls:

South 01 degrees 41 minutes 25 seconds East, a distance of 5.02 feet;  
South 06 degrees 52 minutes 16 seconds East, a distance of 168.45 feet;  
South 42 degrees 42 minutes 38 seconds East, a distance of 77.67 feet;  
South 08 degrees 03 minutes 04 seconds West, a distance of 114.19 feet;  
North 81 degrees 11 minutes 41 seconds West, a distance of 100.97 feet;  
South 38 degrees 39 minutes 35 seconds West, a distance of 64.03 feet;  
South 13 degrees 05 minutes 44 seconds East; a distance of 170.91 feet;  
South 56 degrees 11 minutes 37 seconds East, a distance of 104.36 feet to a point in the north line of aforesaid Jones tract;

THENCE North 89 degrees 58 minutes 20 seconds West, along the north line of said Jones tract, a distance of 1211.64 feet to the a 3/8 inch iron rod found for the northernmost northwest corner of said Jones tract and the northeast corner of said Lot 37, and being North 00 degrees 04 minutes 24 seconds East, a distance of 144.63 feet from a 3/8 inch iron rod found for the southeast corner of said Lot 37;

THENCE South 89 degrees 53 minutes 19 seconds West, along north line of said Lot 37, a distance of 302.18 feet to the POINT OF BEGINNING and containing 19.989 acres of land more or less.

EXHIBIT C

**QUAIL RIDGE TOWNHOMES  
PROPOSED PLANNED DEVELOPMENT REGULATIONS**

The purpose of this PD is to create a high quality single-family attached townhome development, located in the proximity of Princeton Business Park and Myrick Lane, a future Principal Arterial. It will have approximately 586 feet of frontage on Sheamar Lane, a future Major Arterial street.

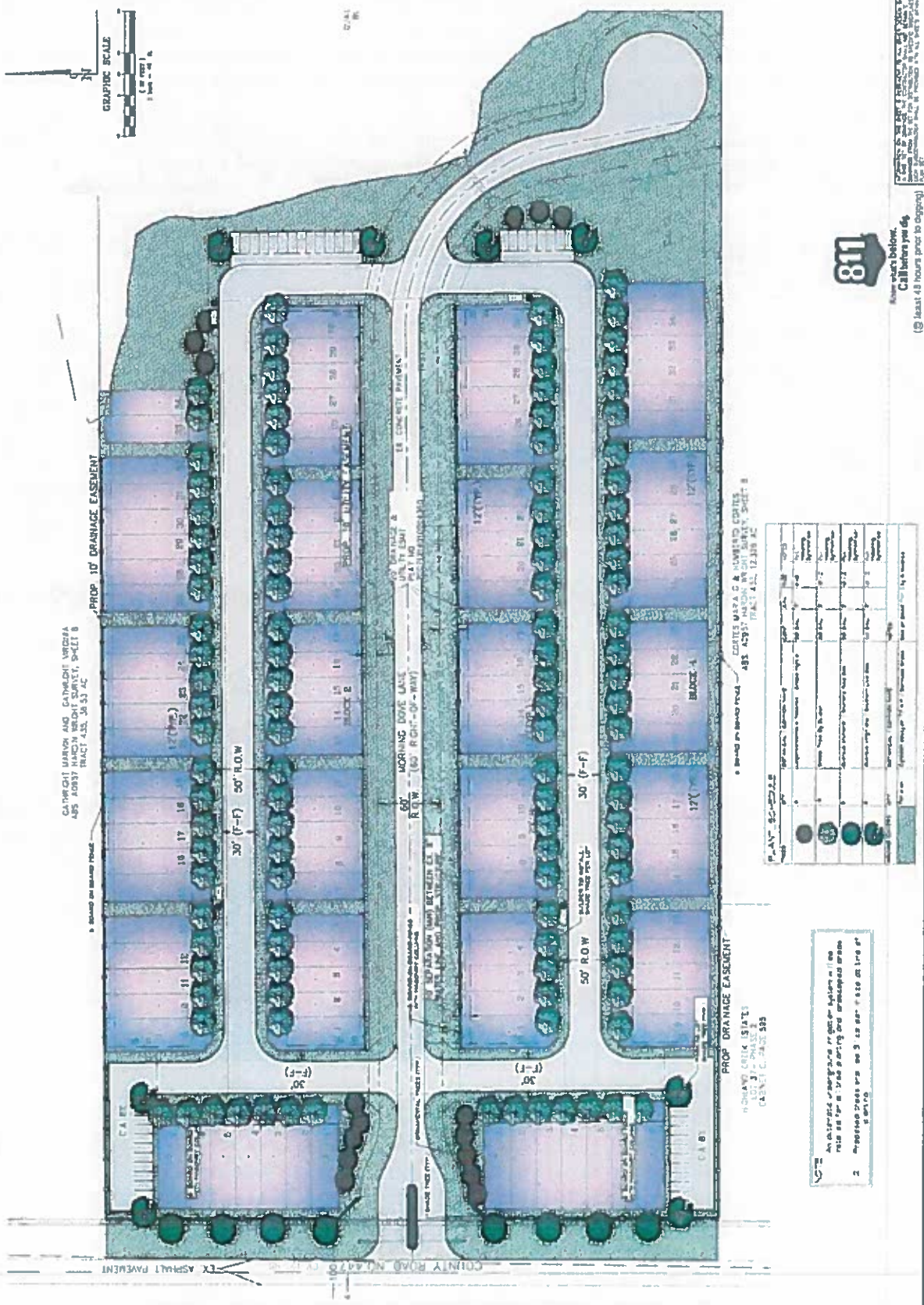
The development will provide greater diversity of housing opportunities in the community. It will have a gross medium density of 5.80 units per acre.

The base zoning district will be the SF-TH, Townhome District. The proposed PD will comply with all the requirements of the SF-TH District, the Zoning Ordinance and Subdivision Ordinance except for the items listed below. In the event of a conflict between the Zoning Ordinance and these PD regulations and site plan, these PD regulations and site plan shall control.

	SF-TH Regulations	Proposed Regulations	Comments
Minimum lot area	2,700 sq ft	2,280 sq ft	The proposed lot area is the result of the min. lot width times min. lot depth.
Minimum lot width	40 feet	24 feet	The proposed lot width is common among townhome developments and will not negatively affect the maximum lot coverage. There is ample space to provide the required parking and a floor area that exceeds the minimum requirement.
Minimum lot depth	100 feet	95 feet	The lot depth is reduced so as to not incorporate the existing water line, existing and future drainage swales into the lots; otherwise, the lot depth would meet the minimum requirement.
Minimum side yard setback, street side	15 feet	5 feet	The reduced side yard will only be on internal streets of the development.
Minimum side yard setback, interior	15 feet	12 feet between buildings	The slight reduction is caused by the dimensions of the developable property.
Minimum rear yard setback	20 feet	15 feet	The proposed regulations will provide greater flexibility in building placement and will not affect the maximum lot coverage.



PROJECT NO.	19-101
DATE	08/14/2019
SCALE	AS SHOWN
DRAWN BY	W. J. BANNISTER
CHECKED BY	W. J. BANNISTER
DATE	08/14/2019
PROJECT NO.	19-101



Know what's below.  
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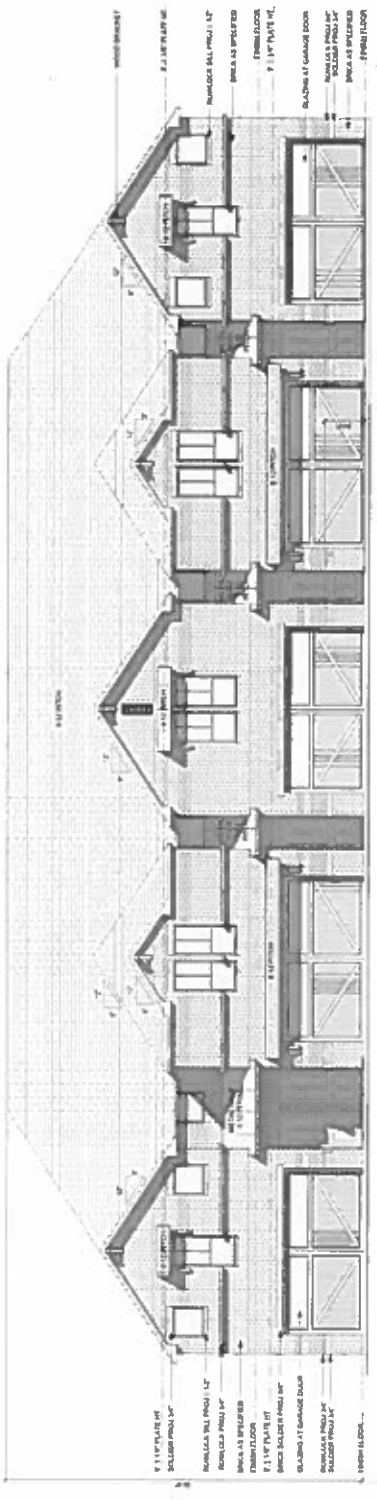
NO.	DESCRIPTION	DATE	BY
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100	REVISED	08/14/19	WJB

1. An electrical underground system is shown on this plan. All electrical work shall be done in accordance with the applicable codes and standards. All electrical work shall be done in accordance with the applicable codes and standards. All electrical work shall be done in accordance with the applicable codes and standards.

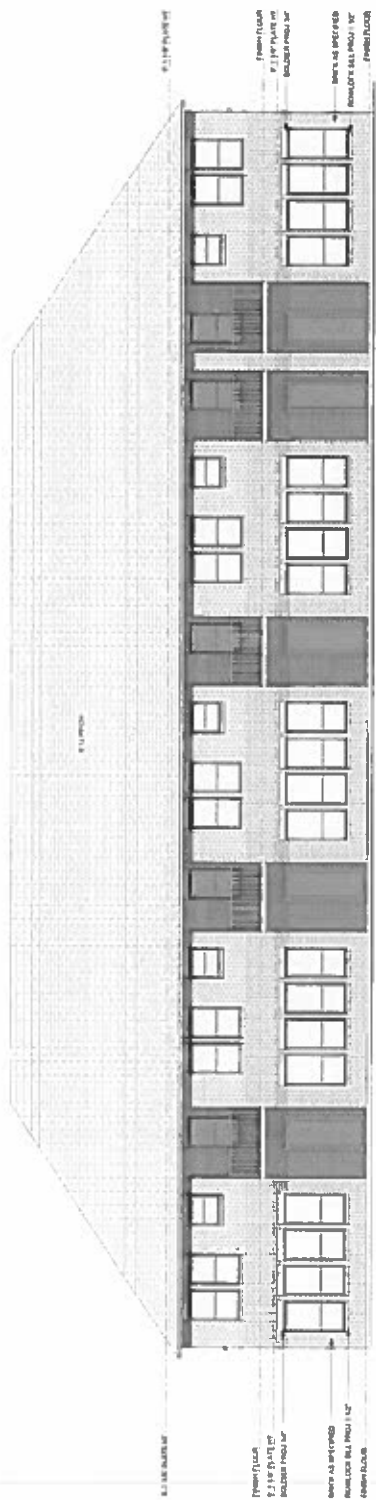
PLAN SCALE: AS SHOWN  
 1" = 10'-0"

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QUAIL RIDGE TOWNHOMES  
 PRINCETON, TEXAS  
 SHEET NUMBER B-1



**1 FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 DATE: 10/15/2014



**2 REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 DATE: 10/15/2014





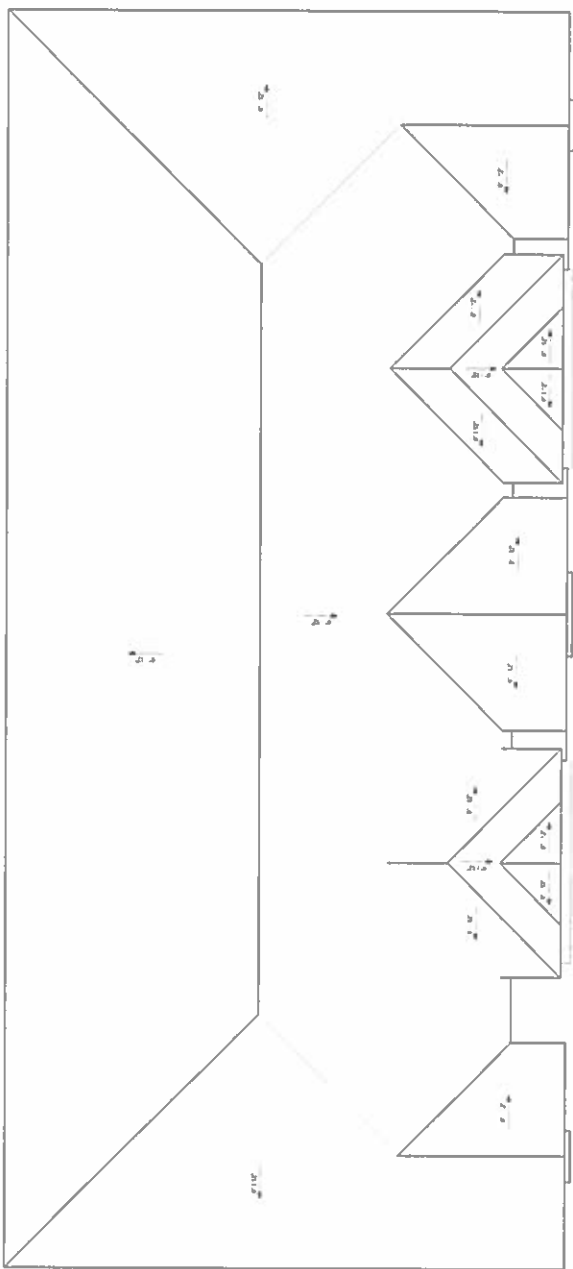
**FANTOM**  
**DESIGNS**  
**INC.**  
 1300 E. Arapaho Rd #114  
 Richardson, TX 75081  
 409-274-2300  
 www.FantomDesigns.com

PROJECT NO. 10-0000  
 SHEET NO. 10-0000

**ELEVATION**  
 ARCHITECTURE: [Faint text]  
 DATE: [Faint text]

NO.	DATE	DESCRIPTION
1		

DRAWN BY: [Faint text]  
 CHECKED BY: [Faint text]  
 PROJECT: [Faint text]  
 SHEET: [Faint text]



**1 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"