

CITY OF PRINCETON

ORDINANCE NO. 2021-10-12-01

AN ORDINANCE OF THE CITY OF PRINCETON AMENDING ORDINANCE NUMBER 2021-06-28-02 OF THE CITY OF PRINCETON, FROM “PD 23” PLANNED DEVELOPMENT 23 TO “PD 25” PLANNED DEVELOPMENT 25; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the owner of the property generally described as 52.467 acres of land situated in the Hardin Wright Survey, Abstract No. 957, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

WHEREAS, the tract of land subject of this zoning amendment from “AG” Agricultural to ~~“PD 23” Planned Development 23~~ “PD-25” Planned Development 25, is more particularly described by metes and bounds description set forth in Exhibit B; and

WHEREAS, the Planning and Zoning Commission held a public hearing, heard the case on June 21, 2021 and recommended approval of the zoning amendment from “AG” Agricultural to ~~“PD 23” Planned Development 23~~ “PD 25” Planned Development 25 on June 28, 2021 and

WHEREAS, the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “AG” Agricultural to ~~“PD-23” Planned Development 23~~ “PD 25” Planned Development 25 on June 28, 2021 and

WHEREAS, the property subject of Planned Development ~~No. 23~~ No. 25, shall be subject to specific Amended Development Regulations and Concept Plan, attached hereto as Exhibit C; and

WHEREAS, all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:

Section 1. That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

Section 2. The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from “AG” Agricultural to ~~“PD 23” Planned Development 23~~ “PD-25” Planned Development 25.

Section 3. That Planned Development ~~No. 23~~ No. 25 shall be subject to the Amended Development Regulations and Concept Plan attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.

Section 4. That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.

Section 5. If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 6. Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.

Section 7. This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 12th day of October, 2021.



Brianna Chacón
Brianna Chacón, Mayor
City of Princeton, Texas

ATTEST:

Amber Anderson
Amber Anderson, City Secretary
City of Princeton, Texas

CITY OF PRINCETON

ORDINANCE NO. 2021-06-28-02

AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM “AG” AGRICULTURAL TO “PD 23” PLANNED DEVELOPMENT 23, ON A PORTION OF THE HARDIN WRIGHT SURVEY, ABSTRACT NO. 957; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the owner of the property generally described as 52.467 acres of land situated in the Hardin Wright Survey, Abstract No. 957, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

WHEREAS, the tract of land subject of this zoning amendment from “AG” Agricultural to “PD 23” Planned Development 23, is more particularly described by metes and bounds description set forth in Exhibit B; and

WHEREAS, the Planning and Zoning Commission held a public hearing, heard the case on June 21, 2021 and recommended approval of the zoning amendment from “AG” Agricultural to “PD 23” Planned Development 23 on June 28, 2021 and

WHEREAS, the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “AG” Agricultural to “PD 23” Planned Development 23 on June 28, 2021 and

WHEREAS, the property subject of Planned Development No. 23, shall be subject to specific Amended Development Regulations and Concept Plan, attached hereto as Exhibit C; and

WHEREAS, all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:

Section 1. That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

Section 2. The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from “AG” Agricultural to “PD 23” Planned Development 23.

- Section 3.** That Planned Development No. 23 shall be subject to the Amended Development Regulations and Concept Plan attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.
- Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.
- Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.
- Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.
- Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 28 day of June, 2021.



Brianna Chacón, Mayor
City of Princeton, Texas

ATTEST:



Tabatha Monk, City Secretary
City of Princeton, Texas





DATASOURCE:

PARCELS - COLLIN COUNTY APPRAISAL DISTRICT

AERIAL PHOTOGRAPH DATE: NEARMAP 2021

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES.



6060 North Central Expressway
Suite 440
Dallas, Texas 75206
Phone 469.621.0710
TBPE F-1386
LJA.com

Ownership Exhibit

May 2021

Collin County
City of Princeton ETJ
Princeton ISD

Legend

-  SUBJECT PROPERTY
-  PARCELS
-  200 FEET

Collin County

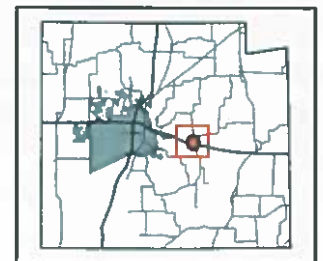


Exhibit "B"
LEGAL DESCRIPTION
52.467 ACRES

BEING A 52.467 ACRE TRACT OF LAND SITUATED IN THE HARDIN WRIGHT SURVEY, ABSTRACT NO. 957, CITY OF PRINCETON, COLLIN COUNTY, TEXAS, AND BEING ALL OF A CALLED 53.003 ACRE TRACT OF LAND CONVEYED TO EDWARD WUERMSER AND WIFE, ELIZABETH ANN WUERMSER, AS RECORDED IN VOLUME 1018, PAGE 609, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS. SAID 52.467 ACRE TRACT, BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 DATUM (NAD83 2011, EPOCH DATE 2010), DETERMINED BY GPS OBSERVATIONS, CALCULATED FROM COLLIN CORS ARP (PID-DF8982) AND DENTON CORS ARP (PID-DF8986), BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID WUERMSER TRACT AND THE NORTHEAST CORNER OF A CALLED 14.319 ACRE TRACT OF LAND CONVEYED TO YUHUA QIU AND SPOUSE, FANGLIN WEI, AS RECORDED IN COUNTY CLERK'S FILE NO. 20150911001157520, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, SAID POINT BEING ON THE APPARANT PRESCRIPTIVE SOUTH RIGHT-OF-WAY LINE OF WEST COLLEGE STREET;

THENCE, NORTH 87 DEGREES 31 MINUTES 43 SECONDS EAST, ALONG THE NORTH LINE OF SAID WUERMSER TRACT AND SAID APPARANT PRESCRIPTIVE SOUTH RIGHT-OF-WAY LINE OF WEST COLLEGE STREET, A DISTANCE OF 912.33 FEET TO A POINT FOR THE NORTHEAST CORNER OF SAID WUERMSER TRACT AND THE NORTHWEST CORNER OF A CALLED 10.986 ACRE TRACT OF LAND CONVEYED TO IMAD SAAD AND MOHAMMAD RABAH, AS RECORDED IN COUNTY CLERK'S FILE NO. 20161007001360760, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, SAID POINT BEING IN THE APPROXIMATE CENTER OF A CREEK;

THENCE, ALONG THE EAST LINE OF SAID WUERMSER TRACT, THE WEST LINE OF SAID 10.986 ACRE TRACT AND SAID CREEK, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 01 DEGREES 46 MINUTES 22 SECONDS WEST, A DISTANCE OF 384.13 FEET TO A POINT FOR CORNER;

SOUTH 16 DEGREES 56 MINUTES 43 SECONDS EAST, A DISTANCE OF 499.81 FEET TO A POINT FOR CORNER;

SOUTH 27 DEGREES 50 MINUTES 23 SECONDS EAST, A DISTANCE OF 50.72 FEET TO A POINT FOR CORNER;

SOUTH 01 DEGREES 46 MINUTES 02 SECONDS EAST, ALONG THE WEST LINE OF KINGSBRIDGE ADDITION, AN ADDITION TO THE CITY OF

PRINCETON, AS RECORDED IN COUNTY CLERK'S FILE NO.
20191119010005000, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY,
TEXAS, A DISTANCE OF 218.03 FEET TO A POINT FOR CORNER;

THENCE, CONTINUING ALONG SAID EAST LINE OF WUERMSER TRACT, SAID
WEST LINE OF KINGSBRIDGE ADDITION AND SAID CREEK, THE FOLLOWING
COURSES AND DISTANCES:

SOUTH 05 DEGREES 31 MINUTES 39 SECONDS EAST, A DISTANCE OF
105.35 FEET TO A POINT FOR CORNER;

SOUTH 02 DEGREES 19 MINUTES 54 SECONDS WEST, A DISTANCE OF
136.12 FEET TO A POINT FOR CORNER;

SOUTH 11 DEGREES 53 MINUTES 27 SECONDS WEST, ALONG THE WEST LINE
OF A CALLED 11.664 ACRE TRACT OF LAND CONVEYED AS "TRACT III" TO
BOBBY THOMPSON, AS RECORDED IN COUNTY CLERK'S FILE NO.
20130501000591200, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, A
DISTANCE OF 97.16 FEET TO A POINT FOR CORNER;

THENCE, CONTINUING ALONG SAID EAST LINE OF WUERMSER TRACT, SAID
WEST LINE OF 11.664 ACRE TRACT AND SAID CREEK, THE FOLLOWING
COURSES AND DISTANCES:

SOUTH 18 DEGREES 34 MINUTES 05 SECONDS WEST, A DISTANCE OF
213.70 FEET TO A POINT FOR CORNER;

SOUTH 16 DEGREES 19 MINUTES 18 SECONDS EAST, A DISTANCE OF
174.79 FEET TO A POINT FOR CORNER;

SOUTH 03 DEGREES 04 MINUTES 02 SECONDS WEST, A DISTANCE OF
215.03 FEET TO A POINT FOR CORNER;

SOUTH 03 DEGREES 40 MINUTES 26 SECONDS WEST, A DISTANCE OF
392.86 FEET TO A POINT FOR CORNER;

SOUTH 00 DEGREES 03 MINUTES 59 SECONDS WEST, A DISTANCE OF
68.09 FEET TO A POINT FOR THE SOUTHEAST CORNER OF SAID
WUERMSER TRACT AND THE SOUTHWEST CORNER OF SAID 11.664
ACRE TRACT, SAID POINT BEING ON THE NORTH LINE OF A CALLED 1.15
ACRE TRACT OF LAND CONVEYED TO THE STATE OF TEXAS, AS
RECORDED IN VOLUME 313, PAGE 182, OFFICIAL PUBLIC RECORDS,
COLLIN COUNTY, TEXAS, FROM WHICH A TxDOT MONUMENT FOUND FOR
THE NORTHEAST CORNER OF SAID STATE OF TEXAS TRACT BEARS
SOUTH 89 DEGREES 10 MINUTES 58 SECONDS EAST, A DISTANCE OF
68.40 FEET;

THENCE, NORTH 89 DEGREES 10 MINUTES 58 SECONDS WEST, ALONG THE
SOUTH LINE OF SAID WUERMSER TRACT AND THE NORTH LINE OF SAID STATE

OF TEXAS TRACT, A DISTANCE OF 201.71 FEET TO A POINT FOR THE NORTHWEST CORNER OF SAID STATE OF TEXAS TRACT, SAID POINT BEING ON THE EAST LINE OF LOT 3, BLOCK 1 OF WENDY'S ADDITION, AN ADDITION TO THE CITY OF PRINCETON, AS RECORDED IN COUNTY CLERK'S FILE NO. 20200102010000030, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS;

THENCE, NORTH 03 DEGREES 02 MINUTES 43 SECONDS EAST, CONTINUING ALONG SAID SOUTH LINE OF WUERMSER TRACT AND SAID EAST LINE OF LOT 2, BLOCK 1, A DISTANCE OF 9.30 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID LOT 3, BLOCK 1, SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID WENDY'S ADDITION;

THENCE, NORTH 89 DEGREES 46 MINUTES 44 SECONDS WEST, CONTINUING ALONG SAID SOUTH LINE OF WUERMSER TRACT AND THE NORTH LINE OF SAID LOT 3, BLOCK 1, A DISTANCE OF 253.72 FEET TO A POINT FOR THE SOUTHWEST CORNER OF SAID WUERMSER TRACT, SAID POINT BEING IN THE APPROXIMATE CENTER OF A CREEK;

THENCE, ALONG THE WEST LINE OF SAID WUERMSER TRACT, THE EAST LINE OF SAID LOT 3, BLOCK 1 AND SAID CREEK, THE FOLLOWING COURSES AND DISTANCES:

NORTH 00 DEGREES 44 MINUTES 10 SECONDS WEST, A DISTANCE OF 59.17 FEET TO A POINT FOR CORNER;

NORTH 50 DEGREES 37 MINUTES 11 SECONDS WEST, A DISTANCE OF 162.34 FEET TO A POINT FOR A NORTHEAST CORNER OF SAID LOT 3, BLOCK 1 AND THE SOUTHEAST CORNER OF CREEKVIEW ADDITION, AN ADDITION TO THE CITY OF PRINCETON, AS RECORDED IN COUNTY CLERK'S FILE NO. 20050809001085030, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS;

THENCE, CONTINUING ALONG SAID WEST LINE OF WUERMSER TRACT, THE EAST LINE OF SAID CREEKVIEW ADDITION AND SAID CREEK, THE FOLLOWING COURSES AND DISTANCES:

NORTH 33 DEGREES 41 MINUTES 55 SECONDS WEST, A DISTANCE OF 110.13 FEET TO A POINT FOR CORNER;

NORTH 07 DEGREES 01 MINUTES 44 SECONDS EAST, A DISTANCE OF 91.47 FEET TO A POINT FOR CORNER;

NORTH 40 DEGREES 03 MINUTES 44 SECONDS WEST, A DISTANCE OF 138.53 FEET TO A POINT FOR CORNER;

SOUTH 35 DEGREES 05 MINUTES 11 SECONDS WEST, A DISTANCE OF 88.20 FEET TO A POINT FOR CORNER;

NORTH 80 DEGREES 04 MINUTES 33 SECONDS WEST, A DISTANCE OF 26.20 FEET TO A POINT FOR CORNER;

NORTH 36 DEGREES 31 MINUTES 40 SECONDS WEST, A DISTANCE OF 176.62 FEET TO A POINT FOR CORNER;

NORTH 07 DEGREES 26 MINUTES 50 SECONDS EAST, A DISTANCE OF 98.19 FEET TO A POINT FOR CORNER;

NORTH 52 DEGREES 40 MINUTES 30 SECONDS EAST, A DISTANCE OF 56.72 FEET TO A POINT FOR CORNER;

NORTH 16 DEGREES 13 MINUTES 55 SECONDS EAST, A DISTANCE OF 23.75 FEET TO A POINT FOR CORNER;

NORTH 26 DEGREES 30 MINUTES 11 SECONDS WEST, A DISTANCE OF 130.85 FEET TO A POINT FOR CORNER;

SOUTH 78 DEGREES 47 MINUTES 49 SECONDS WEST, A DISTANCE OF 129.75 FEET TO A POINT FOR CORNER;

NORTH 00 DEGREES 38 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF AFORESAID 14.319 ACRE TRACT AND GENERALLY ALONG AN EXISTING FENCE, A DISTANCE OF 1091.92 FEET TO A POINT FOR CORNER;

THENCE, NORTH 00 DEGREES 35 MINUTES 58 SECONDS EAST, CONTINUING ALONG SAID WEST LINE OF WUERMSER TRACT AND SAID EAST LINE OF 14.319 ACRE TRACT AND GENERALLY ALONG AN EXISTING FENCE, A DISTANCE OF 590.33 FEET TO THE **POINT OF BEGINNING** AND CONTAINING A CALCULATED AREA OF 52.467 ACRES, OR 2,285,453 SQUARE FEET OF LAND.

EXHIBIT "C"
Forest Park Development Regulations

General Purpose and description: The purpose of the planned development district is to encourage construction of single-family homes of medium density to provide greater diversity of housing opportunities in the community. This district is intended to allow a maximum density of nine units per acre.

General Dimension Requirements:

Minimum Lot Area: 4,500 Square Feet

Minimum Lot Width: 40 Feet (measured at the front building line)

Minimum Lot Depth: 90 Feet

Minimum Building Size: 1,200 Square Feet of Air Conditioned Space

Maximum Building Height: 35 Feet

Minimum Front Yard Setback: 20 Feet, the minimum front yard setback requirements can be reduced by a maximum of five feet to allow for the encroachment of covered front porches, living area, and J-swing garages. Front entry garages shall not be permitted to encroach into the front setback.

Minimum Rear Yard Setback: 10 Feet

Minimum Side Yard Setback: 5 Feet for interior lots, 15' when adjacent to any street.

Maximum Lot Coverage: 60%, excluding driveways, sidewalks, or any uncovered concrete flatwork.

House Placement on Lot: Homes may be "center-loaded", meaning the Minimum Side Yard Setback shall apply to both sides of each lot.

Architectural Requirements:

Masonry requirements: All structures shall be constructed with a minimum of 80 percent masonry coverage (excluding the total window area), except as noted in this subsection. All permanent structures shall be compatible in architectural style, including the use of brick, stone, stucco, textured tilt wall construction, or other textured masonry surface. The remaining 20 percent of exterior finishing materials shall complement the building design and masonry materials used. Masonry shall not be required above a roof line, or on architectural elements surrounded by roof shingles on all sides; such areas also shall not be considered in the masonry coverage calculation. Any deviation of less than the 80 percent masonry coverage shall require approval of a variance from the zoning board of adjustment, only after finding that the spirit of this chapter is not compromised.

Roof design and materials: Sloped, gabled or pitched roofs visible from a public street shall be made of 30-year composite shingles, slate, or pre-finished metal or other quality roofing materials. The minimum roof pitch on all major roof lines shall be 6:12. Porches, patios, and secondary architectural elements shall have a minimum roof pitch of 4:12.

Residential repetition of elevation and floor plan: A minimum of seven platted residential lots must be skipped on the same side and four lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical (or nearly identical)

street elevation design. Identical or nearly identical street elevation design means little or no variation in the articulation of the facade, height or width of facade, placement of the primary entrances, porches, number and placement of windows, and other major architectural feature. The identical (or nearly identical) floor plan shall not be repeated on neighboring, side by side lots or directly across the street.

Windows: Windows shall be consistent with the design and construction of the building.

Landscaping & Fencing:

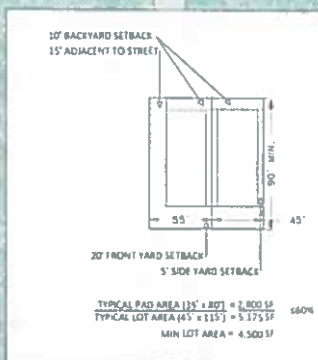
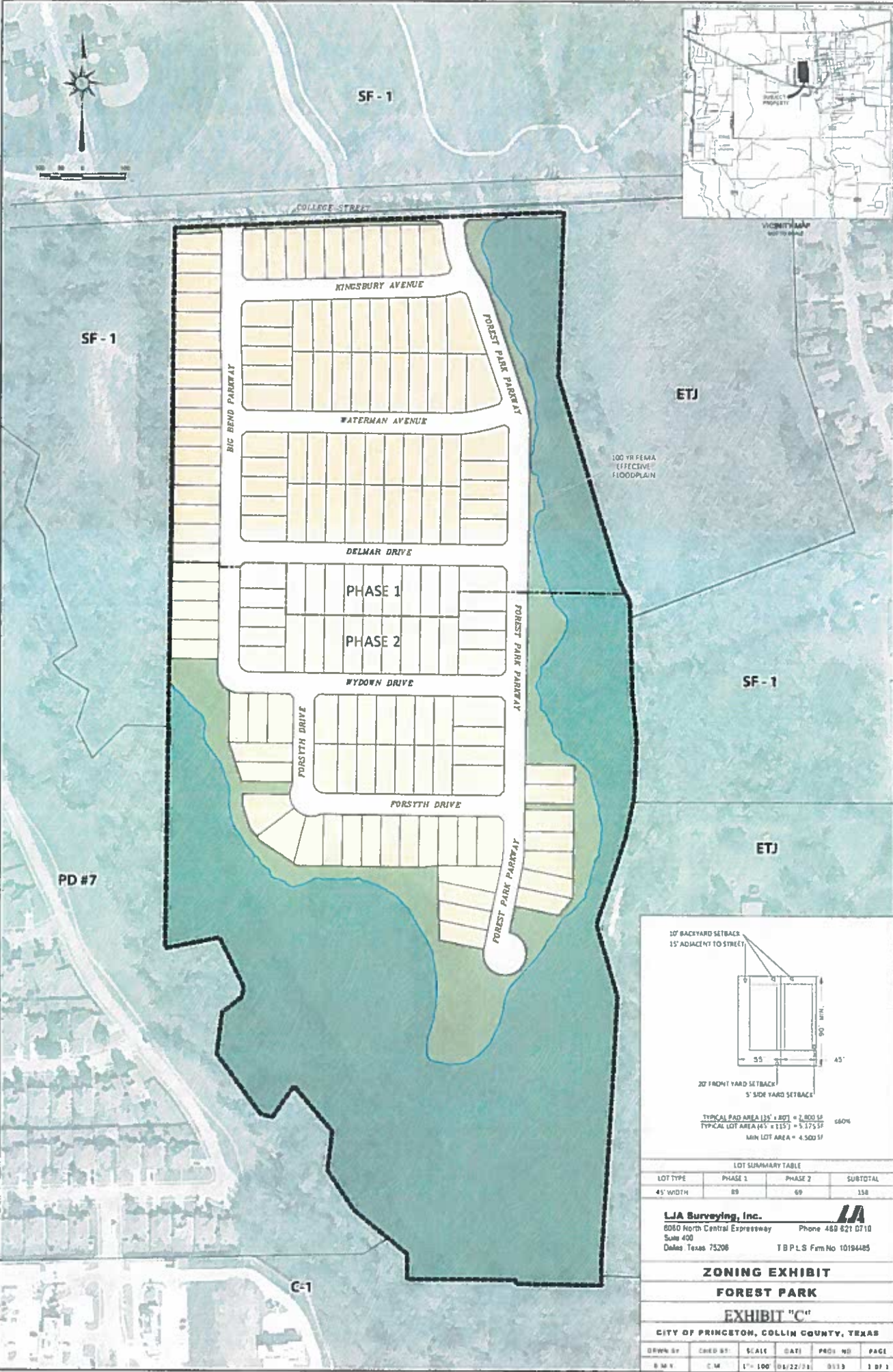
Fencing: Each lot within a residential planned development shall construct a minimum six-foot (and up to eight foot) wood fence with metal posts within the required side and rear yard, measured at the adjacent grade. Black painted metal (aka wrought iron) fencing is also permissible on rear and side yards, and lots backing to the masonry screen wall may use the masonry wall as the rear yard fence provided such wall is placed on the lot line. No fence (other than ornamental landscape related fencing not to exceed 24" in height) shall be constructed within the required front yard or beyond the front building line.

Grass: Prior to issuing a certificate of occupancy, the front, side and rear yards shall be sodded, , except that solid sod shall be used in swales, or when necessary to prevent erosion. Grass areas shall be established with complete coverage within a six-month period from time of plantings, and shall be re-established, if necessary, to ensure grass coverage of all areas.

Landscaping: Prior to issuance a certificate of occupancy, the installation of minimum landscaping along the front building line including ground covering, shrubs, perennial plantings that shall include six 3-gallon shrubs, two 7-gallon shrubs, and a flower bed with a minimum two flats of seasonal flowers shall be completed.

Tree Planting: Minimum of one tree, with a minimum caliper width of two inches, shall be provided on each single-family lot prior to the issuance of a certificate of occupancy. At least one tree shall be located in the front yard.

Irrigation: An automatic underground irrigation, sprinkler or other water system outfitted with a rain and freeze detector shall be provided for the required front and side yards.



LOT SUMMARY TABLE			
LOT TYPE	PHASE 1	PHASE 2	SUBTOTAL
45' WIDTH	89	69	158

LJA Surveying, Inc.
 6060 North Central Expressway Suite 400
 Dallas, Texas 75206 Phone 469 621 0710
 T B P L S F m No 10194485