

**CITY OF PRINCETON**

**ORDINANCE NO. 2022-01-10**

**AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM “SF-1” SINGLE FAMILY RESIDENTIAL DISTRICT TO “PD 26” PLANNED DEVELOPMENT 26, ON A PORTION OF THE HARDIN WRIGHT SURVEY, ABSTRACT NO. 957; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the owner of the property generally described as 1.377 acres of land situated in the Hardin Wright Survey, Abstract No. 957, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

**WHEREAS,** the tract of land subject of this zoning amendment from “SF-1” Single family residential district-1 to “PD 26” Planned Development 26, is more particularly described by metes and bounds description set forth in Exhibit B; and

**WHEREAS,** the Planning and Zoning Commission held a public hearing, heard the case on December 20, 2021 and recommended approval of the zoning amendment from “SF-1” Single family residential district-1 to “PD 26” Planned Development 26 on December 20, 2021 and

**WHEREAS,** the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “SF-1” Single family residential district-1 to “PD 26” Planned Development 26 on January 10, 2022 and

**WHEREAS,** the property subject of Planned Development No. 26, shall be subject to specific Development Regulations and Concept Plan, attached hereto as Exhibit C; and

**WHEREAS,** all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:**

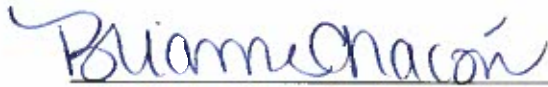
**Section 1.** That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

**Section 2.** The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from “SF-1” Single family residential district-1 to “PD 26” Planned Development 26.

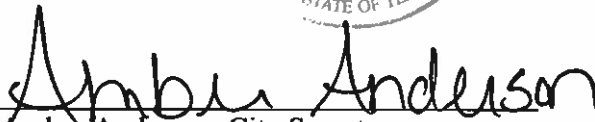
- Section 3.** That Planned Development No. 26 shall be subject to the Development Regulations and Concept Plan attached hereto as Exhibit C and incorporated herein by reference as if fully set forth herein and for all purposes.
- Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.
- Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.
- Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2016-01-25-01 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.
- Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

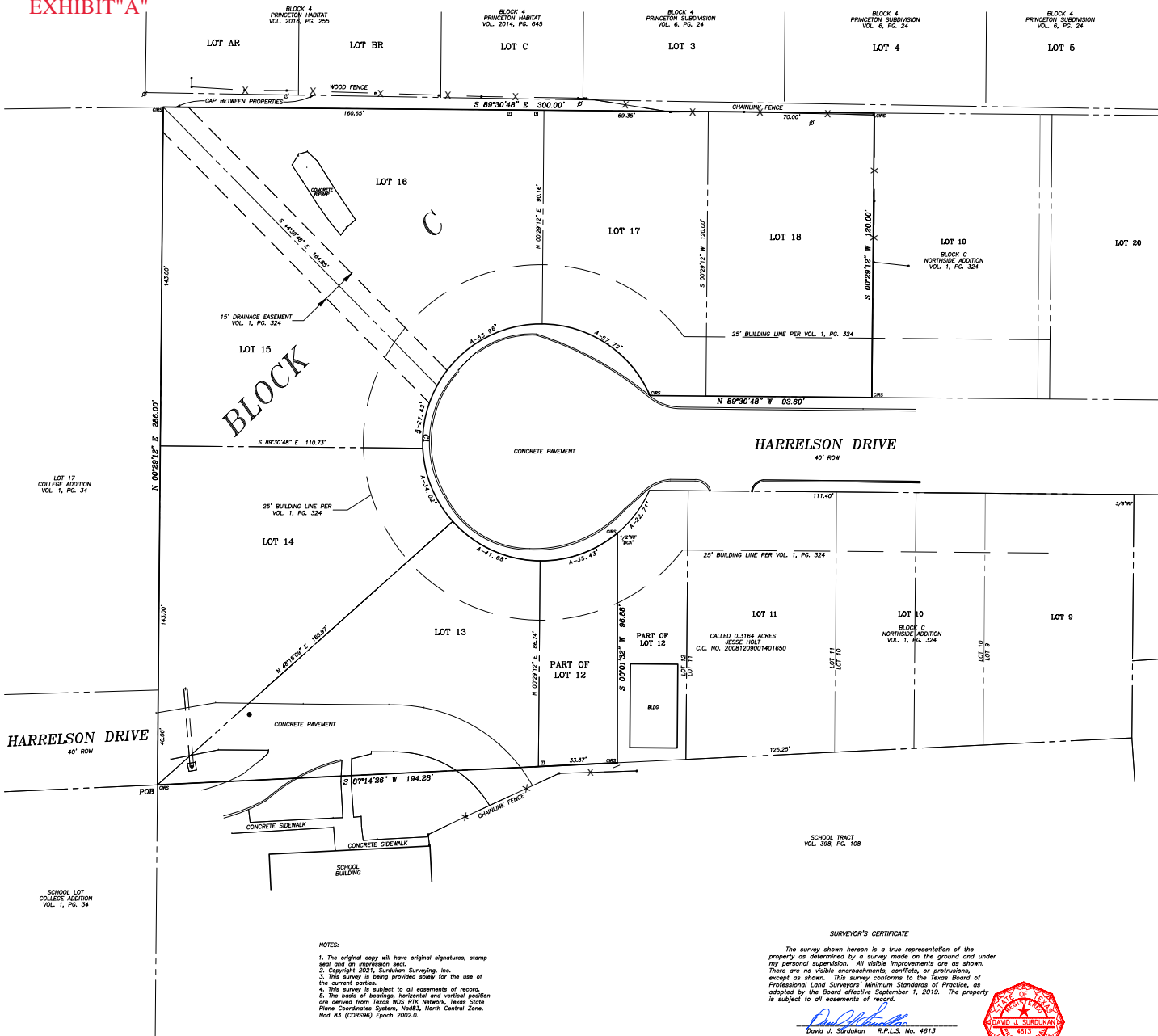
DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 10 day of January, 2022.



  
Brianna Chacón, Mayor  
City of Princeton, Texas

ATTEST:

  
Amber Anderson, City Secretary  
City of Princeton, Texas



LEGAL DESCRIPTION

BEING the part of Lot 12 and all of Lots 13 thru 18 of Block C, Northside Addition, an addition to the City of Princeton, Collin County, Texas, according to the plat thereof recorded in Volume 1, Page 324, Plat Records of Collin County, Texas.

BEGINNING at a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner at the southwest corner of said Lot 14;

THENCE N 00°29'12" E following the west line of Lots 14, 15 and 16 a distance of 286.00' to a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner at the northwest corner of said Lot 16;

THENCE S 89°30'48" E following the north line of Lots 16, 17 and 18 a distance of 300.00' to a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner at the northeast corner of said Lot 18;

THENCE S 00°29'12" W following the south line of Lot 18 a distance of 120.00' to a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner in the north Right Of Way line of Harrelson Drive (40' ROW);

THENCE N 89°30'48" W following the north Right Of Way line of Harrelson Drive a distance of 93.60' to a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner at the beginning of a curve to the left;

THENCE along said curve to the left following the north Right Of Way line of Harrelson Drive through a central angle of 286°49'15", a radius of 50.00', an arc length of 250.30', with a chord bearing of S 13°17'45" W, and a chord length of 59.61' to a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner;

THENCE S 00°01'32" W a distance of 96.88' to a 1/2" iron rod with a yellow plastic cap stamped "4613" set for corner in the south line of Lot 12;

THENCE S 87°14'26" W following the south line of said Lots 12 and 13 a distance of 194.28' to the POINT OF BEGINNING and containing 59,978 Square Feet or 1.377 Acres of land.



NORTH  
SCALE: 1" = 20'  
LEGEND  
C.M. = CONTROLLING MONUMENT  
ORS = CAPPED 1/2" IRON ROD SET STAMPED (4613)  
RF = HIGH ROAD FILING  
□ = TELEPHONE BOX  
P = POWER POLE  
E = EASEMENT  
● = SANITARY MANHOLE

CORNER DATA: NORTH-SOUTH BOUNDARY LENGTHS: NORTH-SOUTH BOUNDARY LENGTHS  
 12 286.49' 15 150.00' 18 131.74' 15 159.61'

NOTES:  
 1. The original copy will have original signatures, stamp seal and an impression seal.  
 2. Copyright 2021, Surdukan Surveying, Inc.  
 3. This survey is being provided solely for the use of the current parties.  
 4. This survey is subject to all assessments of record.  
 5. The dates of bearings, horizontal and vertical positions are derived from Texas NGS RTK Networks, Texas State Plane Coordinate System, NAD83, North Central Zone, NAD 83 (COR94) Epoch 2022.0.

SURVEYOR'S CERTIFICATE  
 The survey shown herein is a true representation of the property as determined by a survey made on the ground and under my personal supervision. All visible improvements are as shown. There are no visible encroachments, conflicts, or provisions, except as shown. This survey conforms to the Texas Board of Professional Land Surveyors' Minimum Standards of Practice, as adopted by the Board effective September 1, 2018. The property is subject to all easements of record.

David J. Surdukan R.P.L.S. No. 4613



BOUNDARY SURVEY  
 PART OF LOT 12 AND ALL OF LOTS 13-18  
 BLOCK C  
 NORTHSIDE ADDITION  
 CITY OF PRINCETON  
 COLLIN COUNTY, TEXAS

SURDUKAN SURVEYING, INC.  
 P.O. BOX 126  
 ANNA, TEXAS 75409  
 (972) 924-8200  
 FIRM NO. 10069500

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## Habitat for Humanity of Collin County Development Regulations

### I. PURPOSE AND INTENT

Habitat for Humanity of Collin County request the property described herein to be rezoned from SF-1 to a Planned Development (PD) zoning. The proposed development will provide quality community housing that will encourage positive relationships throughout the community by advocating for fair housing policies by building homes and communities dedicated to eliminating substandard housing locally and worldwide.

### II. PROJECT LOCATION AND DESCRIPTION

The property is generally located on Part of Lot 12 and all of Lots 13 thru 18 of Block C, Northside Addition, an addition to the City of Princeton, Collin County, Texas, according to the plat thereof recorded in Volume 1, Page 324, Plat Records of Collin County, Texas.

### III. GENERAL DIMENSION REQUIREMENTS

- a. Minimum Lot Area: 7300 square feet
- b. Minimum Lot Width: 60 Feet
- c. Minimum Lot Depth: 90 Feet
- d. Minimum Building Size: 1200 Square Feet of Air-Conditioned Space
- e. Maximum Building Height: 35 Feet
- f. Minimum Front Yard Setback: 25 Feet
- g. Minimum Rear Yard Setback: 20 Feet
- h. Minimum Side Yard Setback: 10 Feet
- i. Maximum Lot Coverage: 40%, excluding driveways, sidewalks, or any uncovered concrete flatwork.
- j. House Placement on Lot: Homes may be "center-loaded"
- k. Parking: One (1) Covered Enclosed Space

#### Architectural Requirements

**Masonry Requirements:** All structures shall be constructed with a minimum of Front Façade 15% rock or brick. The remaining will be LP SmartSide Lap Siding or equivalent of durable engineered treated wood siding.

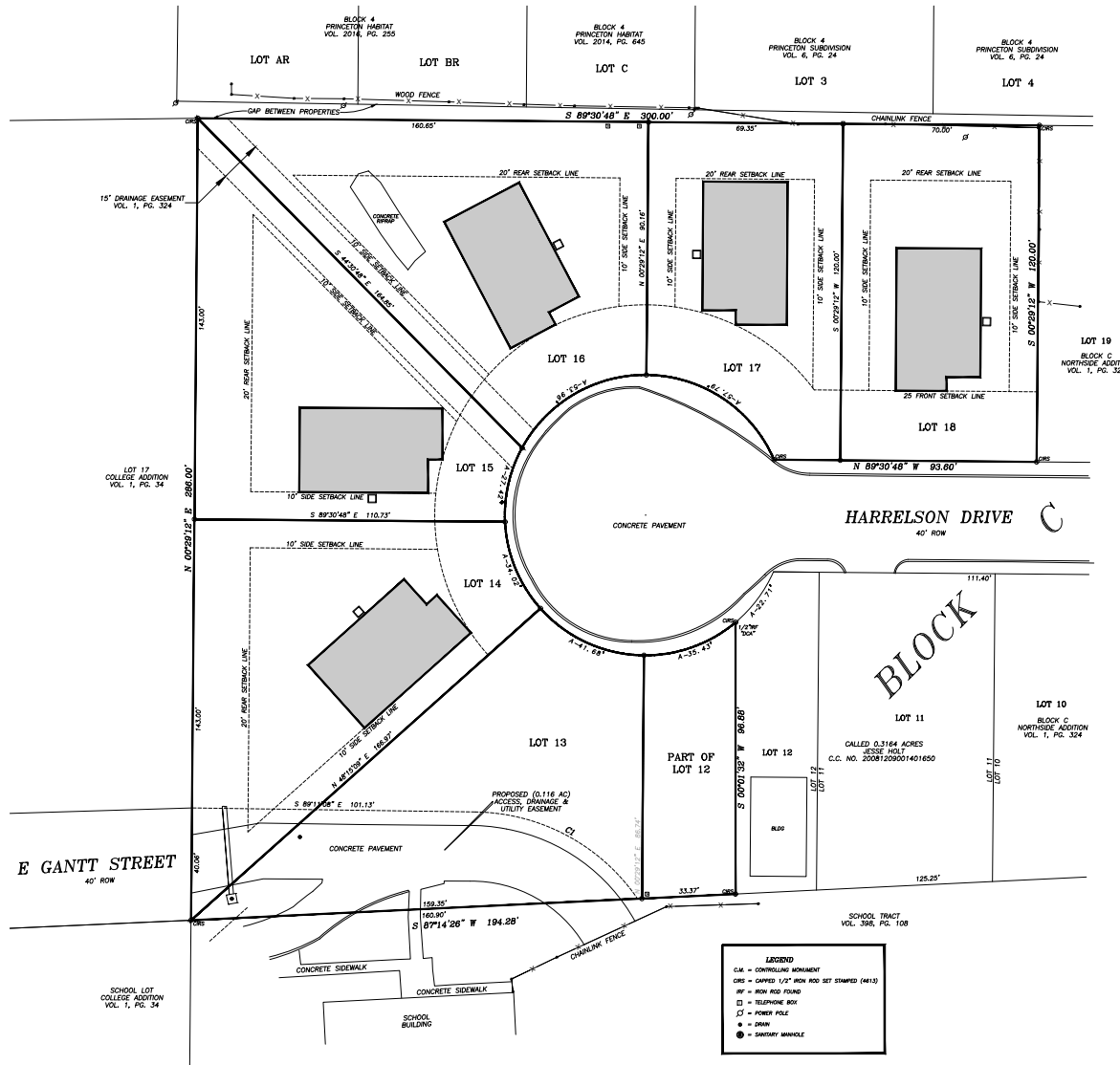
**Roof Design and Materials:** Sloped, gabled, or pitched roofs visible from a public street shall be made of composite shingles with a minimum pitch of 4:12.

#### Landscaping and Fencing

**Fencing:** Permitted but not required on proposed lots.

**Landscaping, Grass, Tree Planting, Irrigation System:** Each individual lot will have; one, two-inch, eight-foot-tall tree. Front and side yards shall be sodded. Rear yards will be sodded to a

minimum of ten (10) feet from the foundation. An automatic underground irrigation, sprinkler or other water system outfitted with a rain and freeze detector shall be provided for the required front and side yards.



LEGEND	
CL	CONCRETE SIDEWALK
CRS	CAPPED 1/2" IRON ROD SET STAMPED (4113)
RF	IRON ROD FOUND
□	TELEPHONE BOX
ST	POWER POLE
○	DRAIN
●	SANITARY MANHOLE

104.54	171.18	168.04	13	87.47	42'	165.48'
154.46	94'	171.18	68.04	13	87.47	42'

REVISION	BY

HARRELSON DRIVE  
PRINCETON, TX 75407



DATE:  
10.28.21

SCALE:  
1" = 20'

DRAWN BY:  
CHJ

SHEET NAME:  
CONCEPT  
SITE PLAN

SHEET NO.:  
**SP**