

**CITY OF PRINCETON**

**ORDINANCE NO. 2022-01-24**

**AN ORDINANCE OF THE CITY OF PRINCETON AMENDING THE COMPREHENSIVE ZONING ORDINANCE NUMBER 2016-01-25-01 OF THE CITY OF PRINCETON, FROM “AG” AGRICULTURAL TO “PD 27” PLANNED DEVELOPMENT 27, ON A PORTION OF THE DAVID CHERRY SURVEY, ABSTRACT NO. 166; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the owner of the property generally described as 19.99 acres of land situated in the David Cherry Survey, Abstract No. 166, City of Princeton, Collin County, Texas, as reflected on the map shown in Exhibit A; and

**WHEREAS,** the tract of land subject of this zoning amendment from “AG” Agricultural to “PD 27” Planned Development 27, is more particularly described by metes and bounds description set forth in Exhibit A; and

**WHEREAS,** the Planning and Zoning Commission held a public hearing, heard the case on January 24, 2022 and recommended approval of the zoning amendment from “AG” Agricultural to “PD 27” Planned Development 27 on January 24, 2022 and

**WHEREAS,** the City Council held a public hearing, heard the case and recommended approval of the zoning amendment from “AG” Agricultural to “PD 27” Planned Development 27 on January 24, and

**WHEREAS,** the property subject of Planned Development No. 27, shall be subject to specific Amended Development Regulations and Concept Plan, attached hereto as Exhibit B; and

**WHEREAS,** all legal requirements, conditions and pre requisites having been complied with, the case now comes before the City Council for the City of Princeton for final consideration.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PRINCETON, TEXAS:**

**Section 1.** That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

**Section 2.** The Comprehensive Zoning Ordinance Number 2016-01-25-01 of the City of Princeton be, and the same is hereby, amended by amending the Zoning Map of the City of Princeton so as to reflect the property described in Exhibits A and B the zoning change classification from “AG” Agricultural to “PD 27” Planned Development 27.

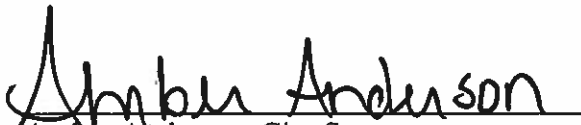
- Section 3.** That Planned Development No. 27 shall be subject to the Amended Development Regulations and Concept Plan attached hereto as Exhibit B and incorporated herein by reference as if fully set forth herein and for all purposes.
- Section 4.** That all ordinances of the City of Princeton in conflict with the provisions of this Ordinance be, and are the same hereby repealed, and all other provisions of the ordinances of the City of Princeton not in conflict with the provisions of this Ordinance shall remain in full force and effect.
- Section 5.** If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance or application thereto to any person or circumstance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portion of this ordinance; and the City Council hereby declares it would have passed such portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.
- Section 6.** Any person, firm or corporation who violates any provision of this Ordinance or Princeton's Comprehensive Zoning Ordinance No. 2022-01-24 shall be deemed guilty of a misdemeanor, and upon conviction therefor, shall be fined in a sum not exceeding Two Thousand Dollars (\$2000.00), and each and every day such violation continues shall be continued a separate offense; provided, however, such penal provision shall not preclude a suit to enjoin such violation.
- Section 7.** This ordinance shall become effective from and after its adoption and publication as required by law.

DULY PASSED AND APPROVED by the City Council of the City of Princeton, Texas, on this 24 day of January, 2022.



Brianna Chacón, Mayor  
City of Princeton, Texas

ATTEST:



Amber Anderson, City Secretary  
City of Princeton, Texas

## Exhibit A

BEING all that certain lot, tract or parcel of land situated in the David Cherry Survey, Abstract No. 166, being part of a called 306.81 acres tract of land described in deed to Hasan Pirkul, recorded in Volume 5218, Page 3630, Deed Records, Collin County, Texas (D.R.C.C.T.), being a tract of land described in Deed to SS S&D Properties, LLC, a Texas Limited Liability Company, recorded under Instrument No. 20190821001020250 (D.R.C.C.T.), and being more particularly described by the following metes and bounds description:

BEGINNING at a ½ inch iron rod found for corner in the north line of Country Road 408, at the Southeast corner of a tract of land described in deed to Zenvoy, LLC, recorded under Instrument No. 20290821001021850 (D.R.C.C.T.), being the Southwest corner of said SS S&D Properties tract;

THENCE North 01 deg. 21 min. 28 Sec. West, a distance of 1439.66 feet to a ½ inch iron rod found for corner in the south line of a tract of land described in deed to Tillery William Vigil Lii Living Trust and Julia Ann Tillery Living Trust, recorded under Instrument No. 20150508000525110 (D.R.C.C.T.), at the Northeast corner of said Zenvoy tract;

THENCE South 89 deg. 48 min. 28 sec. East, with the said South line a distance of 604.72 feet to a ½ inch yellow-capped iron rod set for corner at the Northwest corner of a tract of land described in deed to Griffin Legacy LP, recorded under Instrument No. 20121205001547940 (D.R.C.C.T.), from which a ½ inch iron rod found for reference bears North 22 deg. 41 min. 32 sec. West, a distance of 2.86 feet;

THENCE South 01 deg. 21 min. 28 sec. East, a distance of 1441.53 feet to ½ inch yellow-capped iron rod set for corner in the North line of said County Road 408, at the Southwest corner of said Griffin Legacy LP tract, from which a ½ inch iron rod found for reference bears South 50 deg. 30 min. 32 sec. East, a distance 1.11 feet;

THENCE North 89 deg. 37 min, 49 sec. West, a distance of 604.77 feet to the PLACE OF BEGINNING and containing 670,837 square feet of 19.99 acres of land.

Exhibit B  
 Development and Architectural Standards  
 Residential tract

Regulation Type	Standard
Lot area. Residential Lots within Property shall adhere to the following minimum sizes at the ratios stated. <sup>1</sup>	
90% of lots	4,800 square feet
10% of lots	5,000 square feet
Lot width. Residential Lots within Property shall adhere to the following minimum width at the ratios stated.	
90% of lots	40 feet
10% of lots	50 feet
Lot depth (minimum)	115 feet
Dwelling size (minimum)	1,200 square feet
Lot coverage (maximum)	55%
Building height (maximum)	35 feet
Front yard Setback (minimum)	20 feet
Side yard Setback, street side (minimum) <sup>2</sup>	15 feet
Side yard Setback, interior (minimum)	5 feet
Rear yard Setback (minimum) <sup>3</sup>	20 feet
Roof pitch (minimum)	6:12
Building Material	

<sup>1</sup> Area is measured as air-conditioned square footage

<sup>2</sup> 25 feet if garage faces a side street

<sup>3</sup> A one-story wing or extension may be built within 15 feet of the rear lot line

Masonry - Front facade (minimum) <sup>4</sup>	100%
Masonry - Overall (minimum) <sup>5</sup>	70 %

## Development and Architectural Standards

### Community tract

- The entry element shall be masonry and landscape.
- Surface Parking lot to be allowed per the "PD" concept site plan
- The 28,000 square feet event space structure is a one story unit with pitched roof, height shall not exceed 35 feet.
- The 22,500 square feet retreat center to be designed and decorated by professional architects to create a unique signature building.
- Any architectural element that exceeds 35' should not be occupiable or air conditioned.
- Green spaces shall satisfy city of Princeton's Ordinance
- Landscape requirement shall satisfy city of Princeton's Ordinance

Use regulations - Permitted uses for this tract shall be single-family residential, and C-2 (General Commercial District).

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<sup>4</sup> The front facade of all dwellings shall be brick, stone, cast stone, textured tilt wall, or other masonry surface approved by the City Council following recommendation by the planning and zoning commission. Masonry requirements shall be measured between the foundation and the lowest roof line of the building, and excluding doors, windows, architectural features, soffits, and related exterior trim.

<sup>5</sup> Any structure facade facing FM 408 shall be 100 Masonry

# Concept Plan

